

# PARK AVENUE GREEN LIVING

## MIXED-USE DEVELOPMENT

487 PARK AVENUE  
WORCESTER, MA 01603

### SHEET INDEX

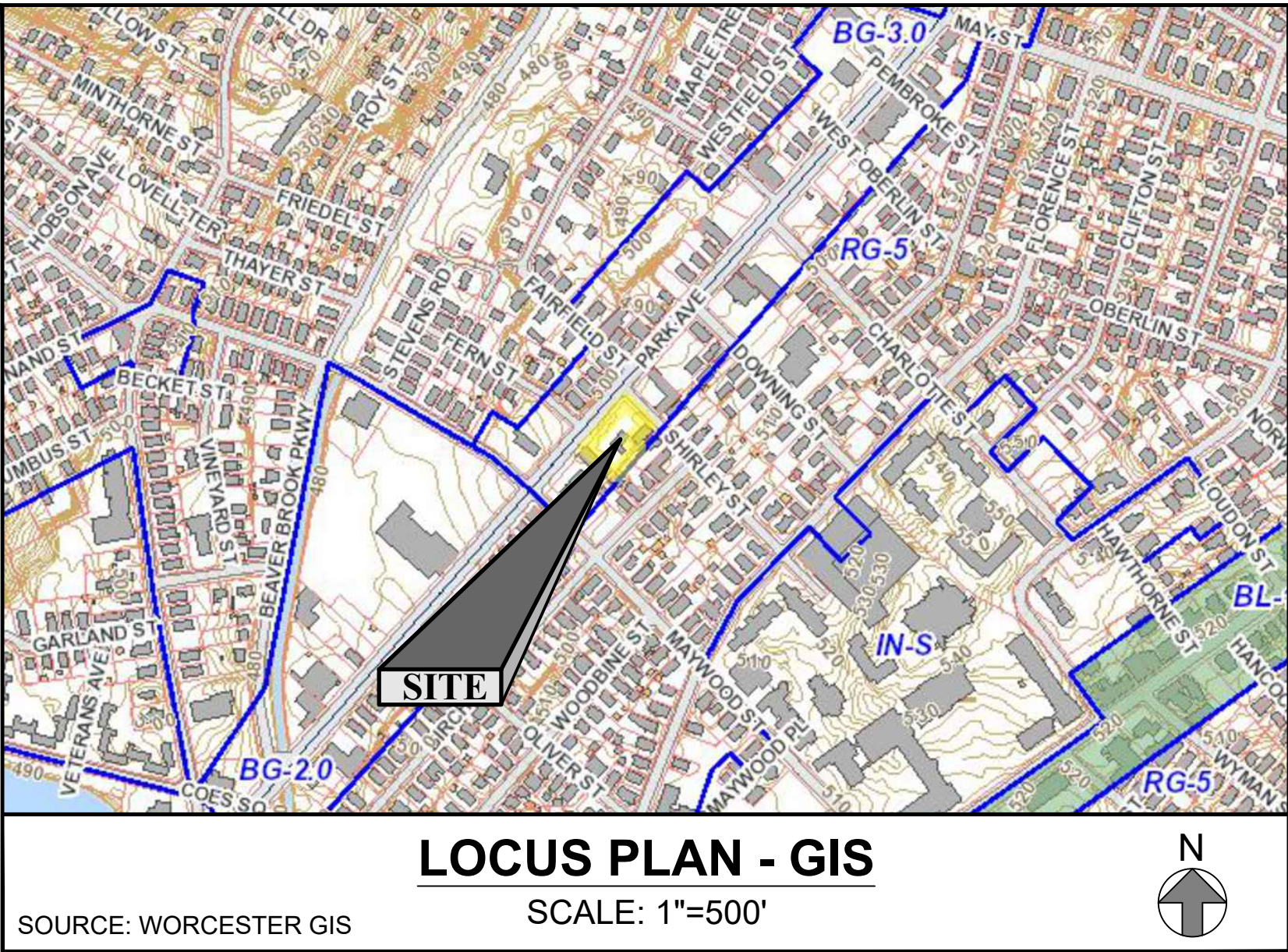
No.	Title	Issue Date
C001	Cover Sheet	September 7, 2023
C101	Site Demo & Sediment and Erosion Control Plan	September 7, 2023
C102	Layout Plan	September 7, 2023
C103	Grading & Drainage Plan	September 7, 2023
C104	Site Utilities Plan	September 7, 2023
C105	Landscaping Plan	September 7, 2023
C501	Site Details - 1	September 7, 2023
C502	Site Details - 2	September 7, 2023
C503	Site Details - 3	September 7, 2023
C504	Site Details - 4	September 7, 2023

### REFERENCE PLAN INDEX

No.	Title	Issue Date
E1	Existing Conditions Plan (HS&T)	August 28, 2023

### REVISIONS/ISSUES

No.	Note	Date
1	Issued for Permitting	September 7, 2023

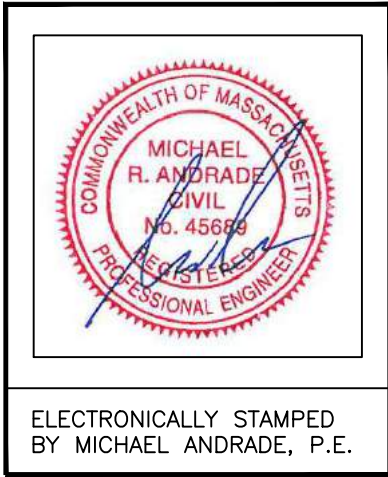


**OWNER**  
Gjinko Realty, LLC  
487 Park Avenue  
Worcester, MA 01610

**ARCHITECT**  
AA Design Services, LLC  
43 Monroe Avenue  
Worcester, MA 01602



100 GROVE STREET | WORCESTER MA 01605  
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GENERAL NOTES

PARCEL DATA:  
STREET ADDRESS: 487 PARK AVENUE, WORCESTER, MA 01610  
AREA: 21,968 SQ. FT. (0.50 AC.)

- NOTES:
- THIS PLAN WAS PREPARED WITHOUT THE BENEFIT OF A TITLE REPORT AND IS SUBJECT TO ANY FINDINGS SUCH A REPORT MIGHT DISCLOSE.
  - LOCATION OF UNDERGROUND UTILITIES SHOWN HEREON ARE APPROXIMATE AND ARE BASED ON THE FIELD LOCATION OF VISIBLE STRUCTURES SUCH AS CATCH BASINS, MANHOLES, WATER GATES, ETC. IN ACCORDANCE WITH CHAPTER 82 SECTION 40 INCLUDING AMENDMENTS, ALL CONTRACTORS SHOULD NOTIFY IN WRITING ALL UTILITY COMPANIES AND GOVERNMENT AGENCIES PRIOR TO ANY EXCAVATION WORK AND CALL DIG-SAFE AT 811. THE CITY OF WORCESTER SHALL ALSO BE CONTACTED FOR UTILITY MARKOUTS.
  - PROPERTY LINE DATA AND TOPOGRAPHIC FEATURES ON THIS PLAN ARE BASED ON PLAN PREPARED BY HS&T GROUP, INC., DATED AUGUST 28, 2023.
  - THE SITE PROPERTY IS NOT LOCATED WITHIN ANY DESIGNATION FLOOD ZONES AS SHOWN ON FIRM MAP 25027C0614E, DATED JULY 4, 2011.
  - SITE SOILS PER USDA-NRCS WEB SOIL SURVEY ARE URBAN LAND (MAP UNIT 602). ON-SITE SOIL TESTING HAS NOT BEEN CONDUCTED.

REFERENCES:  
DEED BOOK/PAGE: 49590/392 (WORCESTER REGISTRY OF DEEDS)  
ASSESSORS REFERENCE: 08-006-0004A

SHEET KEY

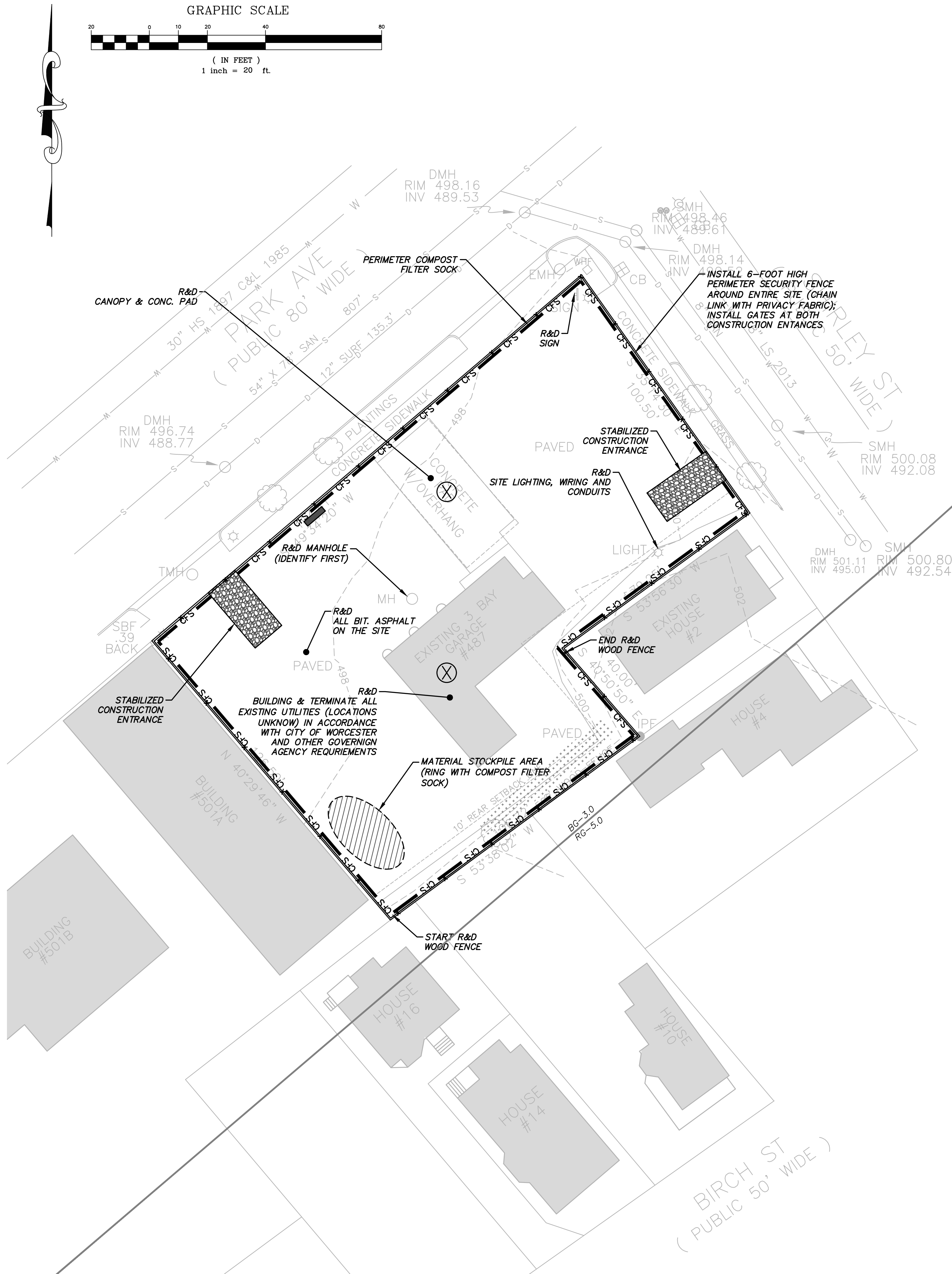
FEATURES MARKED AS  SHALL BE PROTECTED  
FEATURES MARKED AS  SHALL BE R&D  
R&D = REMOVE AND DISPOSE (OFFSITE)  
////// = R&D FEATURE

SHEET NOTES

- ALL EXISTING PAVEMENT ABUTTING NEW PAVEMENT SHALL BE NEATLY SAWCUT.
- ALL ITEMS NOTED TO BE REMOVED AND DISPOSED SHALL BE PROPERLY DISPOSED OF OFFSITE.
- STOCKPILE LOCATIONS (FILL MATERIALS, ETC.) SHALL BE COORDINATED WITH THE OWNER AND THE ENGINEER AND SHALL BE RINGED WITH SILT FENCE. ALL DISTURBED AREAS INCLUDING STOCKPILES, THAT WILL NOT BE RE-DISTURBED WITHIN 14 DAYS SHALL BE STABILIZED BY THE 14TH DAY AFTER THE LAST DISTURBANCE.
- THE CONTRACTOR SHALL EMPLOY ANY AND ALL EROSION AND SEDIMENT CONTROL MEASURES TO PREVENT A RELEASE OF SEDIMENT FROM THE SITE.
- SEDIMENT AND EROSION CONTROLS SHALL BE INSTALLED PRIOR TO THE START OF ANY SITE WORK.
- SEDIMENT TRACKED ONTO ROADWAYS ADJACENT TO THE SITE SHALL BE SWEEPED CLEAN AND REMOVED EACH DAY.
- PERIMETER SEDIMENT CONTROLS SHOWN ARE INTENDED TO THE MINIMUM REQUIRED; THE CONTRACTOR SHALL EMPLOY AND INSTALL ANY OTHER CONTROLS AS NECESSARY TO PREVENT SEDIMENT RELEASE FROM THE SITE INCLUDING AERIAL (DUST).

LEGEND

- |   |  |   |                                 |
|---|--|---|---------------------------------|
| — D —   | DRAIN  |  | SPOT ELEVATION (FINISHED GRADE) |
| — S —   | SEWER  |  | SIGN                            |
| — FM —  | SEWER FORCE MAIN   |  | TP-# TEST PIT - NUMBER          |
| — W —   | WATER  |  | TRAFFIC CONTROL SIGNAL          |
| — OW —  | OVERHEAD UTILITY   |  | TREELINE                        |
| — UGT —   | UNDERGROUND TELEPHONE                                    | EOP   | EDGE OF PAVEMENT                |
| — UGE —   | UNDERGROUND ELECTRIC                                     | D/S   | DOWN SPOUT                      |
| — CATV —  | UNDERGROUND CABLE & TELEVISION                           | CCB   | CAPE COD BERM                   |
| — GAS or G —  | UNDERGROUND GAS  | CONC.   | CONCRETE                        |
| — IR —  | IRRIGATION WATER   | BIT.  | BITUMINOUS                      |
| — RD —  | ROOF DRAIN   | FFE   | FINISHED FLOOR ELEVATION        |
| — SW —  | STRAW WATTLE   | H.P.  | HIGH POINT                      |
| — HSF —   | HAYBALES AND SILT FENCE                                  | L.P.  | LOW POINT                       |
| — LOW —   | LIMIT OF WORK  | F.G.  | FINISH GRADE                    |
|  | HANDICAP PARKING STALL                                   |  | GAS VALVE                       |
|  | FLOW DIRECTION (PITCH)                                   |  | WATER VALVE                     |
|  | WELL   |  | HYDRANT                         |
|  | MONITORING WELL  |  | WATER SHUT-OFF                  |
|  | LIGHT  |  | BOUND                           |
|  | TREE, TRUNK DIAM., DECIDUOUS (DEC.) OR CONIFEROUS (CON.) |  | FLARED END SECTION              |
|  | 24" DEC.   |  | UTILITY POLE                    |
|  | STUMP  |  | UTILITY POLE & GUY WIRE         |
|  | SEWER MANHOLE  |  | LIGHT FIXTURE                   |
|  | DRAIN MANHOLE  |   |                                 |
|  | ELECTRIC MANHOLE   |   |                                 |
|  | TELEPHONE MANHOLE  |   |                                 |
|  | CATCH BASIN  |   |                                 |
|  | DOUBLE CATCH BASIN                                       |   |                                 |
|  | AREA DRAIN   |   |                                 |



SITE DEMO, SEDIMENT & EROSION CONTROL PLAN  
PARK AVENUE GREEN LIVING - MIXED-USE DEVELOPMENT  
487 PARK AVENUE, WORCESTER, MA

PREPARED FOR: OLSI G/INKO  
487 PARK AVENUE, WORCESTER, MA 01603  
DATE: 09/07/23 SCALE: 1"=20'  
DES. BY: DFS  
CHK. BY: MRA  
PRJ. NO.: 23125  
DRW. BY: DFS



NO.	DATE	BY	DESCRIPTION
1	09/07/23	DFS	ISSUED FOR PERMITTING

GRAVES  
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C101



PROJECT ZONING INFORMATION

CRITERIA	REQUIRED	PROPOSED
USE	AUTO SALES	MIXED USE
ZONING DISTRICT	BG-3.0	BG-3.0
OVERLAY DISTRICT	NONE	NONE
MINIMUM LOT AREA	5,000 SQ.FT.(1)	21,968 SQ. FT.
MINIMUM FRONTAGE	40 FT./DU (2)	194.41 FT. (3)
FRONT SETBACK	NA	0 FT.
SIDE SETBACK	NA	0 FT.
REAR SETBACK	10 FT.	44.1 FT.
MAXIMUM BLDG. STORIES	NA	6
MAXIMUM BLDG. HEIGHT	100 FT.	75 FT.
BLDG. LOT COVERAGE	N/A	32.9%
MAXIMUM F.A.R.	3:1	1.8:1
LANDSCAPE PARKING BUFFER	5 FT.	5 FT.
LOT IMPERVIOUS COVERAGE	93%	88%
RECREATION AREA	10% OF LOT AREA	2,400 SQ.FT. (11%) (4)

ZONING INFORMATION SOURCE: THE ABOVE INFORMATION WAS OBTAINED FROM THE CITY OF WORCESTER ZONING ORDINANCE, CURRENT EDITION.

- (1) NA FOR RESIDENTIAL USE  
(2) MAX. 200 FT. REQUIRED; NA FOR NON-RESIDENTIAL USE.  
(3) ZONING VARIANCE SOUGHT FOR RELIEF OF 5.59 FEET OF FRONTAGE.  
(4) RECREATION AREA TOTALS 3,400 SQ.FT. (15%) IF INCLUDING COFFEE SHOP.

PARKING SCHEDULE

REQUIRED PARKING

RESIDENTIAL: 1 SPACES/DU (1)  
AUTO SERVICE: 1 SPACE/SERVICE BAY  
FOOD SERVICE: 0.25 PERSON RATED OCCUPANCY

RESIDENTIAL: 40 UNITS x 1 SPACES/UNIT = 40 SPACES (1)  
AUTO SERVICE: 2 SERVICE BAYS x 1 SPACE/BAY = 2 SPACES  
FOOD SERVICE (COFFEE SHOP): 10 PERSONS X 0.25 = 3 SPACES

TOTAL REQUIRED PARKING SPACES = 45 SPACES

ART. VII INCLUSIONARY ZONING PARKING REDUCTION: 25% OF REQUIRED

ADJUSTED REQUIRED PARKING = 45 x 25% = -12 SPACES  
= 34 SPACES REQUIRED (ADJUSTED)



PROPOSED PARKING

15 STANDARD SPACES (9'x18')  
17 COMPACT SPACES (8'x18') - 50% (2)  
2 VAN ACCESSIBLE HANDICAP SPACES (8'x18')  
34 TOTAL SPACES

(1) ZONING VARIANCE SOUGHT TO REDUCE PARKING TO 1 SPACE/UNIT FROM 2 SPACES/UNIT.

(2) ZONING SPECIAL PERMIT SOUGHT TO INCREASE THE NUMBER OF COMPACT PARKING SPACES TO 50%.

SIGNAGE KEY

GEI ID	FEDERAL ID	SIGN SIZE		SIGN LAYOUT	QUANTITY
		WIDTH	HEIGHT		
S-1	R7-8	12"	18"		2
S-2	R7-8a	12"	6"		2

SNOW STORAGE NOTES

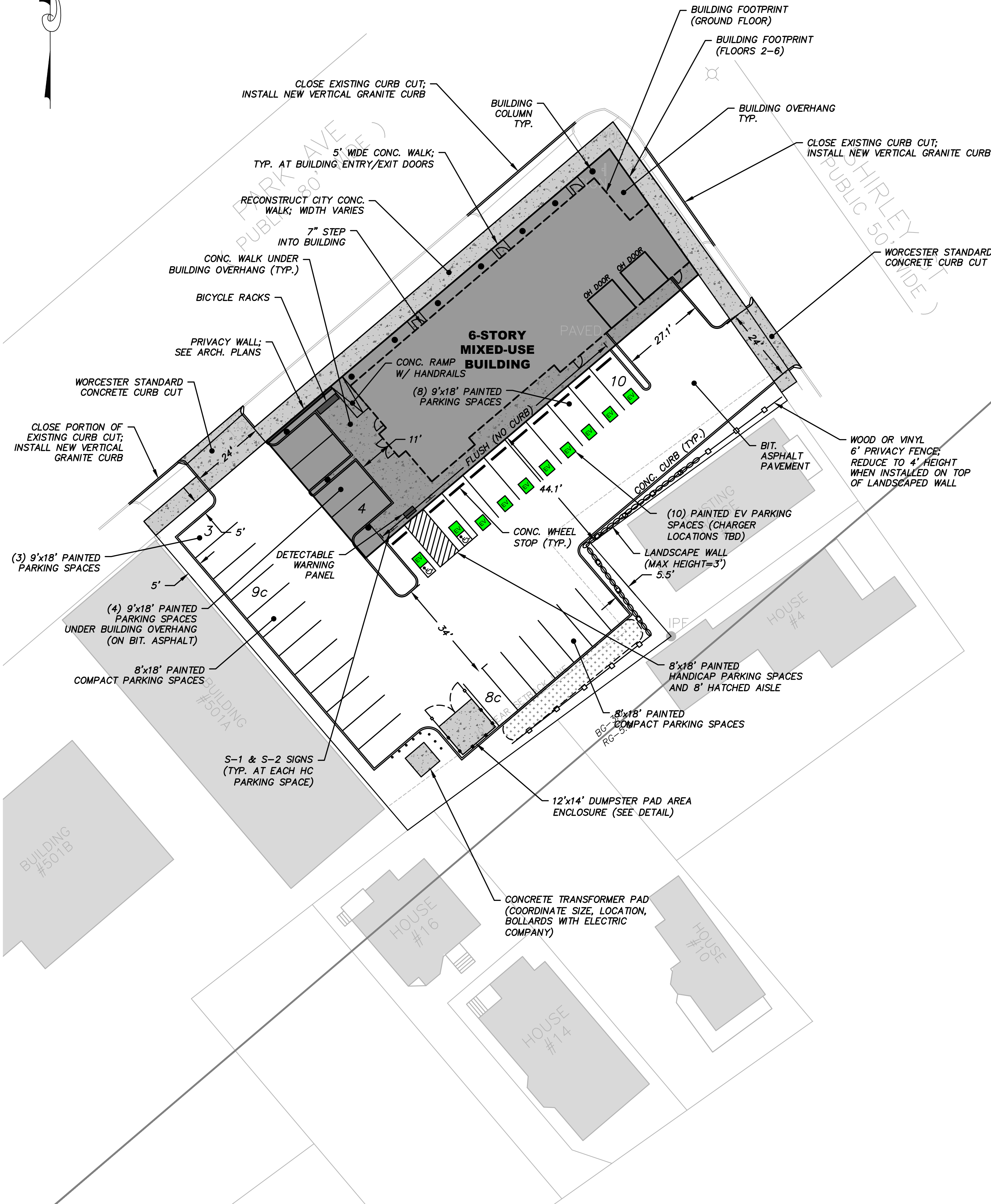
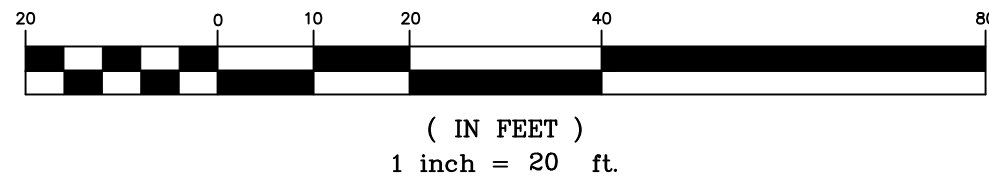
SNOW SHALL BE STORED WITHIN AREAS AS SHOWN ON THIS SHEET DESIGNATED BY THIS HATCHING

SNOW STORAGE LOCATIONS SHOWN REPRESENT THE MINIMUM NECESSARY AND THE OWNER SHALL EXPAND SUCH AREAS AS NEEDED. SNOW SHALL NOT BE PLACED SO AS TO INHIBIT VEHICLE SIGHT LINES FOR ENTERING AND EXITING THE SITE AND INTERNAL SITE CIRCULATION NOR PLACED TO INHIBIT SITE DRAINAGE. EXCESS SNOW SHALL BE HAULED OFF-SITE AS NECESSARY.

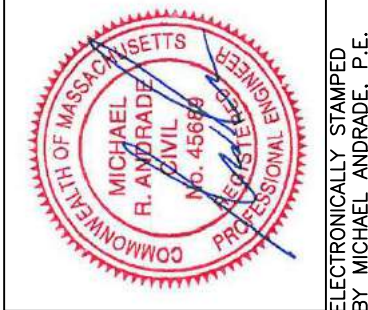
SHEET NOTES

- 1) ALL DIMENSIONS ARE MEASURED FROM TOE OF CURB OR CENTER OF PAINTED LINE.  
2) THE CONTRACTOR SHALL COORDINATE WITH PLANS BY OTHERS (ARCHITECTURAL, STRUCTURAL, MEP, ETC.)  
3) PAVEMENT MARKINGS SHALL BE PAINTED WITH WHITE TRAFFIC PAINT CONFORMING TO SECTION M7.01.08 OF THE MASSDOT STANDARD SPECIFICATIONS FOR HIGHWAYS AND BRIDGES, LATEST EDITION. LINE WIDTH SHALL BE 4 INCHES. HANDICAP SYMBOL MARKINGS SHALL COMPLY WITH 521 CMR WITH WHITE SYMBOL ON BLUE BACKGROUND.  
4) ALL JOINTS OF EXISTING & PROPOSED BITUMINOUS PAVEMENT SHALL BE SEALED WITH HOT RUBBERIZED ASPHALT JOINT SEALANT AND SANDED.  
5) THE SITE CONTRACTOR SHALL COORDINATE WITH MECHANICAL/HVAC PLANS FOR ADDITIONAL EXTERIOR EQUIPMENT PADS THAT MAY NOT BE SHOWN ON THESE DRAWINGS.  
6) THE CONTRACTOR SHALL WORK WITHIN THE PARK AVENUE AND SHIRLEY STREET RIGHT-OF-WAYS WITH THE CITY OF WORCESTER DEPARTMENT OF PUBLIC WORKS AND PARKS WITH REGARD TO THIS PROJECT'S WORK AND THE PROPOSED/CONSTRUCTED STREET IMPROVEMENTS.

GRAPHIC SCALE



NO.	DATE	BY	DESCRIPTION
1	09/07/23	DFS	ISSUED FOR PERMITTING



PREPARED FOR:	OLSI GJINKO	DES. BY: DFS	CHK. BY: MRA	PRJ. NO.: 23125
DATE: 09/07/23	SCALE: 1"=20'	DRW. BY: DFS		



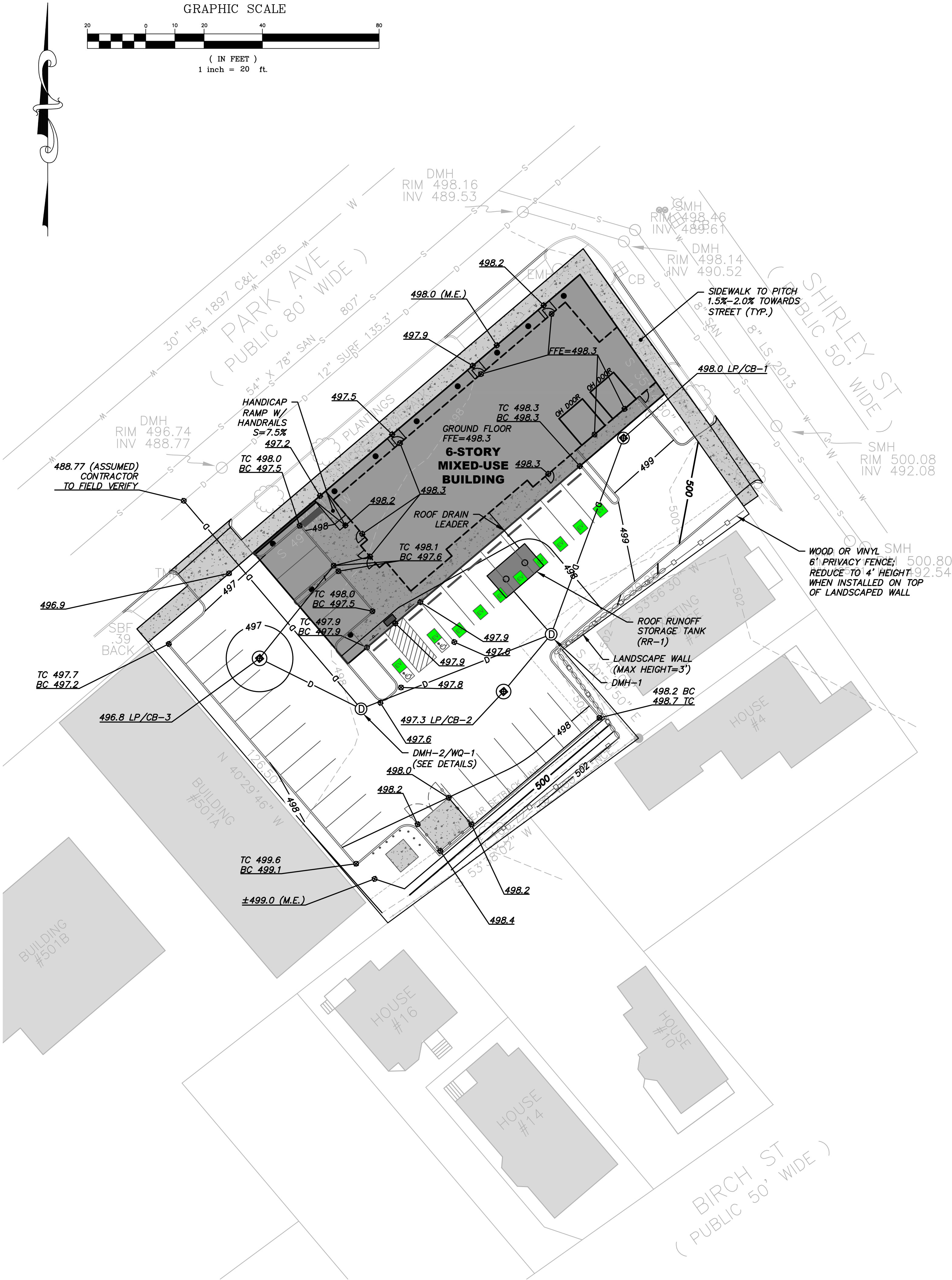
SHEET NOTES

- 1) PROVIDE POSITIVE DRAINAGE IN ALL FINISH GRADED WORK AREAS INCLUDING AWAY FROM ALL BUILDINGS.
- 2) ADJUST ALL STRUCTURES TO PROPOSED FINISH GRADES WITHIN THE LIMIT OF WORK.
- 3) ALL DISTURBED AREAS OUTSIDE OF PAVEMENT SHALL BE RESTORED WITH 6 INCHES OF LOAM AND SEEDED OR LANDSCAPED IN ACCORDANCE WITH THE LANDSCAPING PLANS.
- 4) ALL FINISHED GRASSED SLOPES EQUAL TO OR GREATER THAN A 3:1 SLOPE SHALL BE STABILIZED WITH AN EROSION CONTROL MATTING SUCH AS SC-150 BY NORTH AMERICAN GREEN, CURLEX II BY AMERICAN EXCELSIOR, OR ENGINEER APPROVED EQUAL. COORDINATE MATTING LOCATIONS WITH THE LANDSCAPE PLANS AND GROUND COVER MATERIALS.
- 5) PROPOSED GRADES AS SHOWN SHALL BE CARRIED TO ALL PAVEMENT CORNERS HOWEVER GRADE ADJUSTMENTS SHALL BE MADE BY THE CONTRACTOR AS NECESSARY TO PROVIDE POSITIVE DRAINAGE FROM ALL CORNERS.
- 6) SPOT GRADE KEY:  
(ME) = MATCH EXISTING GRADE  
TC = TOP OF CURB FINISH GRADE  
BC = BOTTOM OF CURB FINISH GRADE  
FFE = BUILDING FINISH FLOOR ELEVATION  
CB = CATCH BASIN  
HP = HIGH POINT  
LP = LOW POINT  
TW = TOP OF WALL (FINISH GRADE)  
BW = BOTTOM OF WALL (FINISH GRADE)
- 5) PRIOR TO WORK, THE CONTRACTOR SHALL VERIFY THE DEPTH OF COVER OVER THE EXISTING UNDERGROUND UTILITIES IN THE AREA OF THE PROPOSED WORK. IF ADEQUATE COVER IS NOT PRESENT TO THE PROPOSED FINISH GRADES, THE CONTRACTOR SHALL CONTACT THE DESIGN ENGINEER IMMEDIATELY BEFORE BEGINNING WORK IN THIS AREA.
- 6) HANDICAP RAMPS AND ACCESSIBLE ROUTES SHALL BE CONSTRUCTED IN CONFORMANCE WITH 521 CMR "ARCHITECTURAL ACCESS BOARD" REGULATIONS. SHOULD ANY DISCREPANCIES BE DISCOVERED ON THESE DRAWINGS THAT MAY PREVENT FULL COMPLIANCE WITH SAID REGULATIONS, THE CONTRACTOR SHALL NOTIFY THE ENGINEER IMMEDIATELY BEFORE PROCEEDING WITH THE WORK.

PROPOSED STORM DRAIN ELEVATION TABLE								
STRUCTURE ELEVATIONS				PIPE DATA				
STRUCTURE	RIM ELEV.	PENETRATIONS	INVERT	NOTES	FROM	TO	LENGTH (ft.)	SLOPE (%)
CB-1	498.0	8" DR18 OUT (DMH-1)	494.00		CB-1	DMH-1	69.7	1.50
DMH-1	497.7	8" DR18 IN (CB-1)	492.95					
		10" PVC IN RR-1	494.91					
		8" DR18 IN (CB-2)	492.95					
		12" HDPE OUT (DMH-2)	494.91		DMH-1	DMH-2	66.0	2.00
CB-2	497.3	8" DR18 OUT (DMH-1)	493.30		CB-2	DMH-1	23.0	1.50
DMH-2	497.3	8" DR18 IN (CB-3)	494.25	WQ-1 (STC 450i)				
		12" HDPE IN (DMH-1)	491.49					
		12" DR18 OUT (EXISTING PARK AVE)	491.39		DMH-2	PARK AVE	92.7	2.83
CB-3	496.8	8" DR18 OUT (DMH-2)	494.80		CB-3	DMH-2	36.4	1.50
RR-1	497.8	10" PVC IN (ROOF LEADERS)	495.50					
		10" PVC OUT (DMH-1)	495.30		RR-1	DMH-1	19.5	2.00

DRAINAGE TABLE KEY:

INV.: PIPE INVERT ELEVATION  
ID: INSIDE DIAMETER  
CB-#: CATCH BASIN-NUMBER  
DMH-#: DRAIN MANHOLE-NUMBER  
HDPE: HIGH DENSITY POLYETHYLENE DRAINAGE PIPE  
PVC: SCH40 PVC PIPE  
DI: DUCTILE IRON  
TBD: TO BE DETERMINED  
WQU-1: STORMWATER WATER QUALITY UNIT, STORMCEPTOR 450i OR ENGINEER APPROVED EQUAL  
RR: ROOF RUNOFF STORMWATER TANK  
DR18: DR-18 PVC PIPE (BLUE BRUTE OR EQUAL)



GRAVES

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REVISIONS			
NO.	DATE	BY	DESCRIPTION
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GRADING & DRAINAGE PLAN

PARK AVENUE GREEN LIVING - MIXED-USE DEVELOPMENT

487 PARK AVENUE, WORCESTER, MA

PREPARED FOR:

OLSI GJINKO

487 PARK AVENUE, WORCESTER, MA 01603

DATE: 09/07/23

SCALE: 1"=20'

DES. BY: DFS

DRW. BY: DFS

CHK. BY: MRA

PRJ. NO.: 23125

SEAL

MICHAEL R. ANDRADA, P.E.

REGISTERED PROFESSIONAL ENGINEER

STATE OF MASSACHUSETTS

ELECTRONICALLY SIGNED BY MICHAEL ANDRADA, P.E.

C103

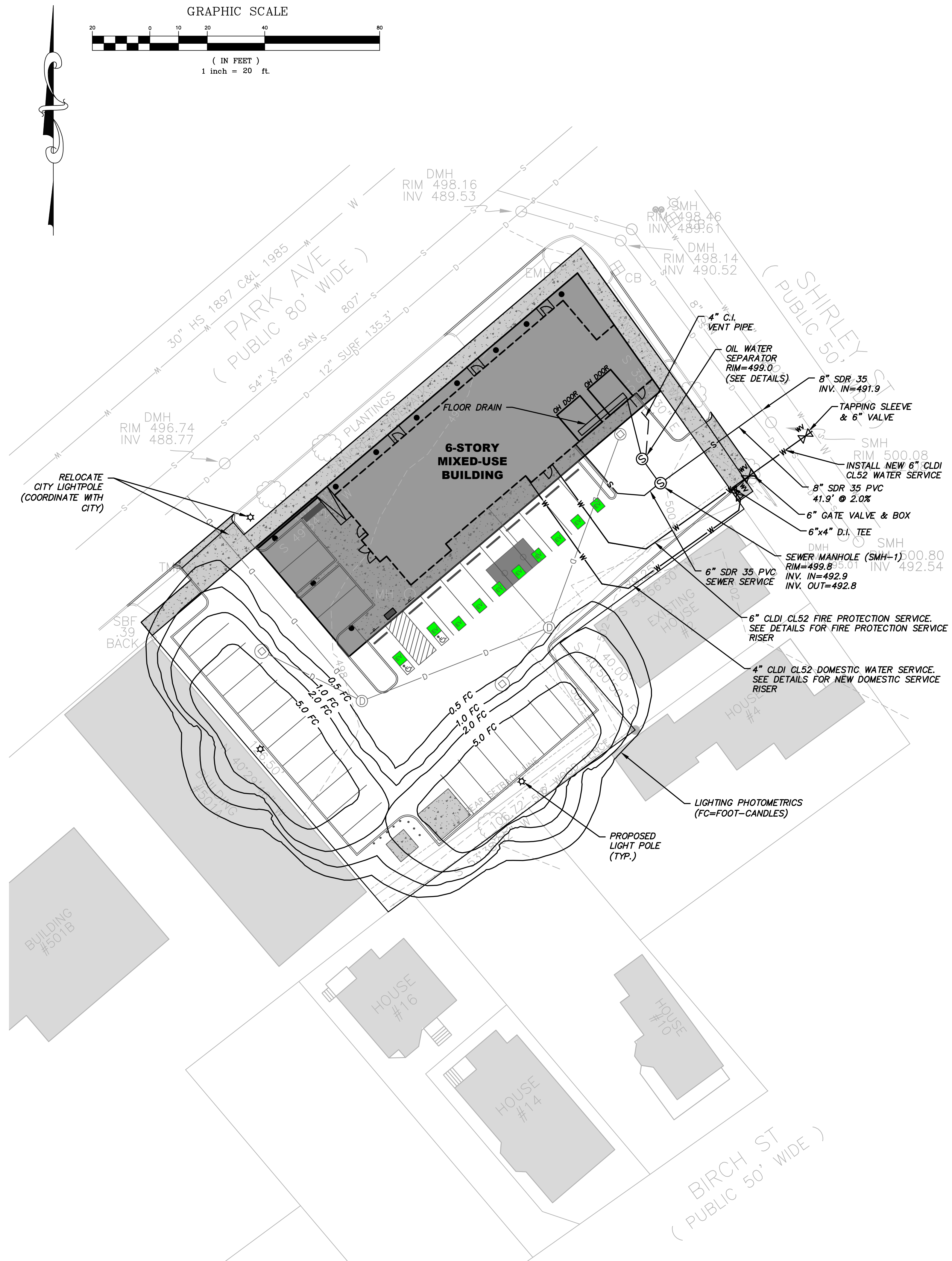


- 1) PRIOR TO WORK, THE CONTRACTOR SHALL VERIFY THE DEPTH OF COVER OVER THE EXISTING UNDERGROUND UTILITIES IN THE AREA OF THE PROPOSED WORK. IF ADEQUATE COVER IS NOT PRESENT TO THE PROPOSED FINISH GRADES, THE CONTRACTOR SHALL CONTACT THE DESIGN ENGINEER IMMEDIATELY BEFORE BEGINNING WORK IN THIS AREA.
- 2) UTILITY MATERIALS, CONSTRUCTION, & TESTING SHALL COMPLY WITH THE WORCESTER DEPARTMENT OF PUBLIC WORKS SPECIFICATIONS, LATEST EDITION.
- 3) THE CONTRACTOR SHALL COORDINATE THE UTILITY WORK WITH THE PROPOSED BUILDING PLANS.
- 4) ALL UTILITY WORK SHALL BE COORDINATED BY THE CONTRACTOR WITH THE PROPER UTILITY COMPANIES.
- 5) THE CONTRACTOR SHALL VERIFY THE LOCATION AND ELEVATION OF ALL EXISTING WATER AND SEWER SERVICE UTILITIES. IF CONFLICTS ARE FOUND THAT PROHIBIT THE INSTALLATION OF THE UTILITIES AS SHOWN ON THESE DRAWINGS, THE CONTRACTOR SHALL NOTIFY THE ENGINEER IMMEDIATELY BEFORE PROCEEDING WITH THE WORK.
- 6) NEW CATCH BASIN FRAMES AND GRATES SHALL BE CITY STANDARD (MODEL: EJIW 7288Z1 (3--FLANGE), 7288Z (4--FLANGE), OR LEBARON LF288 CAST IRON FRAME & EJIW 7288M OR LEBARON L28SG1 CAST IRON GRATE.
- 7) EXISTING WATER AND SEWER UTILITIES SHALL REMAIN.
- 8) THE SITE CONTRACTOR SHALL COORDINATE WITH AND PROVIDE NECESSARY EXCAVATION FOR ELECTRICAL CONDUIT BETWEEN THE BUILDING AND SITE LIGHTING LOCATIONS.

- 1) PHOTOMETRIC INFORMATION BASED ON COOPER LIGHTING SOLUTIONS GALN GALLEON MODEL GALN-SA4D-730-1-SL3 LED FIXTURE MOUNTED AT A HEIGHT OF 15 FEET AGL. COLOR TEMPERATURE = 3,000K.
- 2) THE CONTRACTOR SHALL COORDINATE WITH THE OWNER AND PROVIDE ALL NECESSARY WORK FOR UNDERGROUND ELECTRICAL WIRING AND CONDUITS FOR PROPOSED LIGHTING.
- 3) FC = FOOTCANDLE
- 4) PROPOSED BUILDING WALL PACK LIGHT FIXTURES ARE NOT SHOWN.
- 5) ALL LIGHT FIXTURES SHALL BE DARK SKY COMPLIANT.



LIGHT POLE FIXTURE NTS



NO.	DATE	BY	DESCRIPTION	REVISIONS	
1	09/07/23	DFS	ISSUED FOR PERMITTING		



OLSI GJINKO 487 PARK AVENUE, WORCESTER, MA 01603				
PREPARED FOR:				
DATE: 09/07/23	SCALE: 1"=20'	DES. BY: DFS	DRW. BY: DFS	CHK. BY: MRA
				PRJ. NO.: 23125

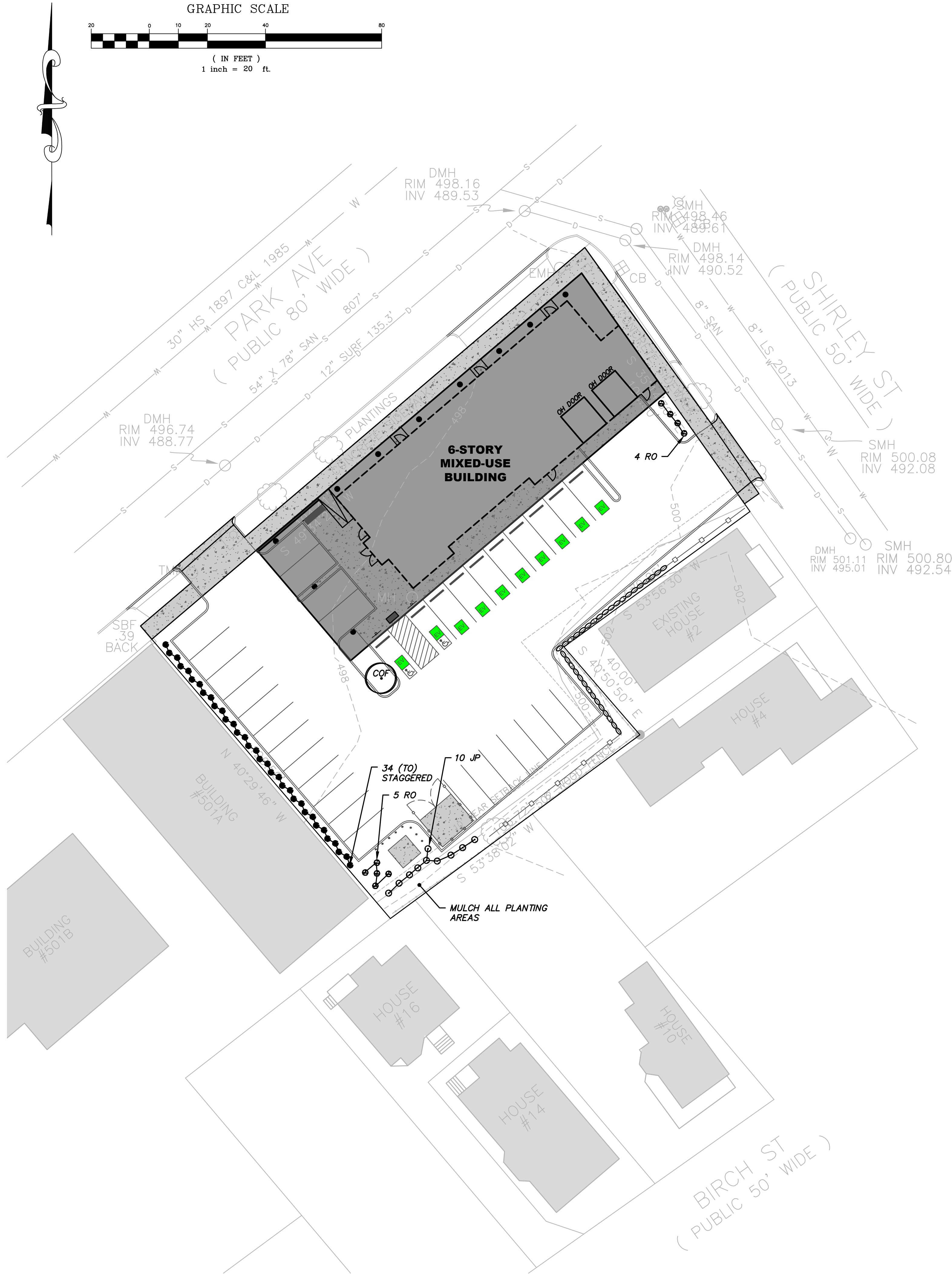


SHEET NOTES

- 1) ALL PLANTINGS SHALL BE ASIAN LONGHORN BEETLE AND EMERALD ASH BORER RESISTANT, NON-HOST SPECIES. SPECIES NOTED ON THIS PLAN MAY BE SUBSTITUTED WITH THE APPROVAL OF THE ENGINEER.
- 2) ALL PLANTINGS SHALL BE WATERED AND FERTILIZED AS NECESSARY UNTIL ESTABLISHED. THE CONTRACTOR SHALL INSTALL A SLOW-RELEASE WATERING BAG AT EACH TREE PLANTING.
- 3) TREES SHALL BE SUPPORTED BY TEMPORARY STAKING AS NECESSARY UNTIL ESTABLISHED.

PLANTING LIST

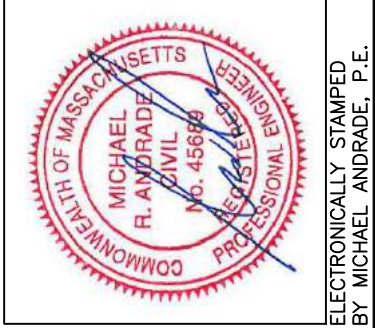
CODE	QTY.	BOTANICAL NAME	COMMON NAME	SIZE	NOTES
ORNAMENTAL TREES					
COF	1	CORNUS FLORIDA	FLOWERING DOGWOOD	3" CAL.	⊙ 6" ABOVE GROUND
SHRUBS					
TO	34	T. OCCIDENTALIS SMARAGD	EMERALD GREEN ARBORVITAE	4'-5' HT.	PLANT WHERE SHOWN; 24"-36" O.C.
RO	9	RHODODENDRON 'ROBLEZA'	AUTUMN BONFIRE	2' HT.	3 GALLON
JP	10	JUNIPERUS HORIZONTALIS	BLUE RUG JUNIPER	2' HT.	2 GALLON



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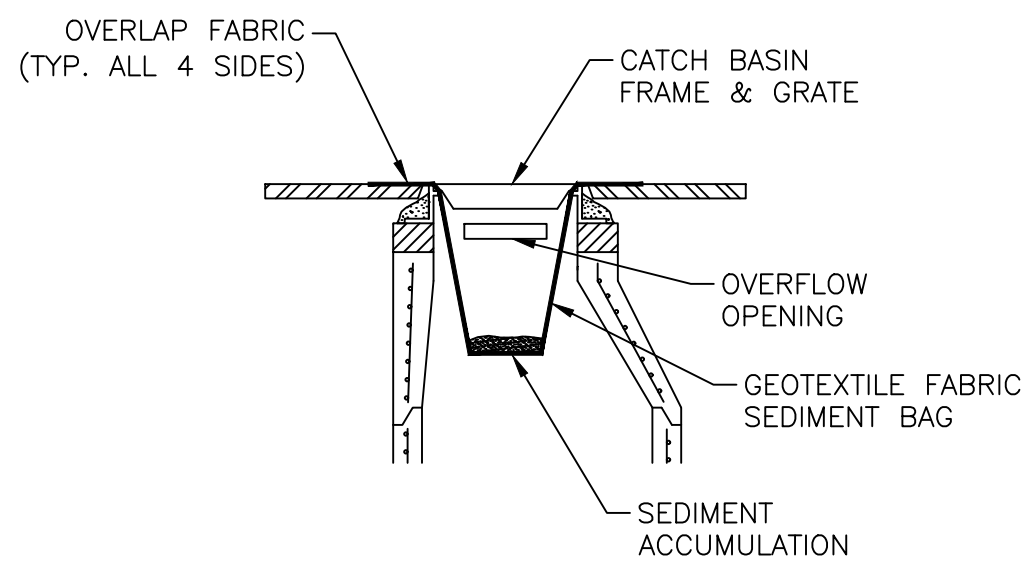


LANDSCAPE PLAN  
PARK AVENUE GREEN LIVING - MIXED-USE DEVELOPMENT  
487 PARK AVENUE, WORCESTER, MA

PREPARED FOR: OLSI GINKO  
487 PARK AVENUE, WORCESTER, MA 01603

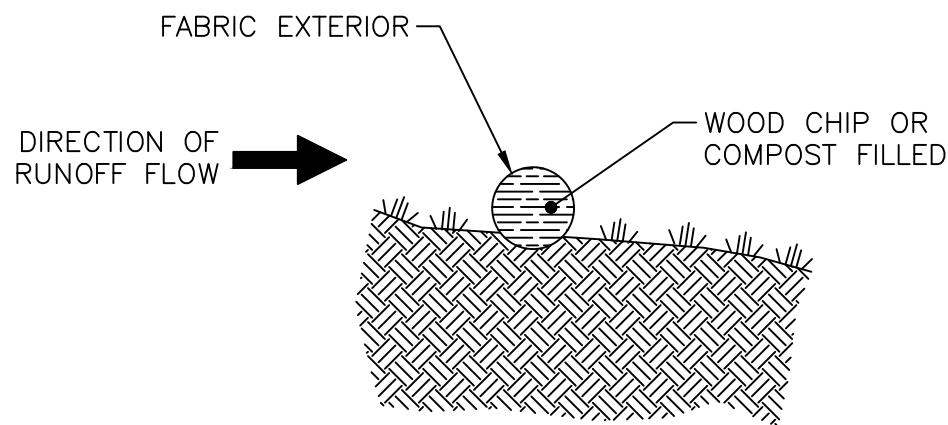
DATE: 09/07/23  
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CHK. BY: MRA  
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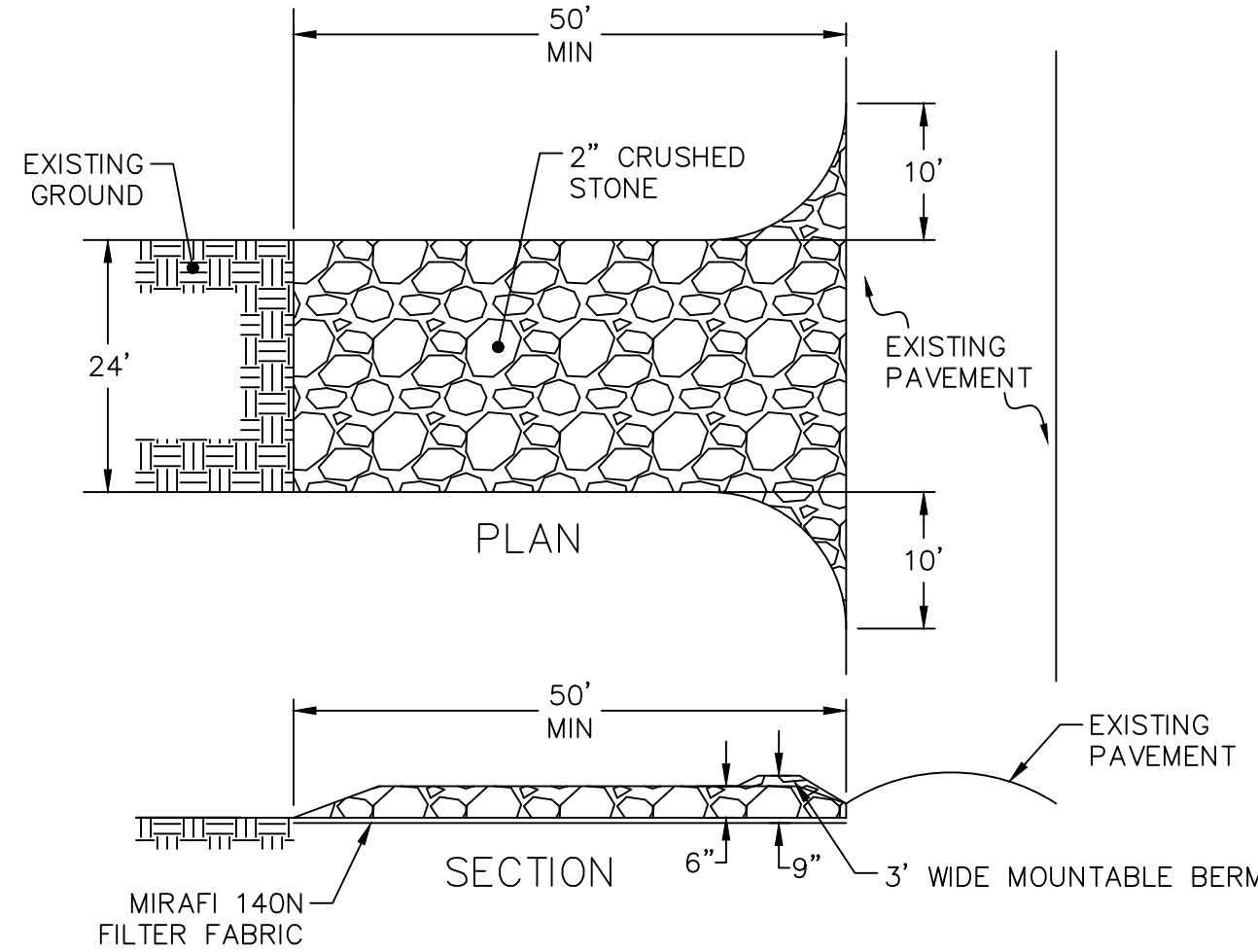
CATCH BASIN SEDIMENT BAG NTS

- NOTES:
- 1) SEDIMENT BAG SHALL BE SILTSACK BY ACF ENVIRONMENTAL, OR APPROVED EQUAL.
  - 2) OIL ABSORPTION MEDIUM MAY ALSO BE PLACED IN BAG (OPTIONAL).
  - 3) INSTALL AND MAINTAIN PER MANUFACTURER'S INSTRUCTIONS.

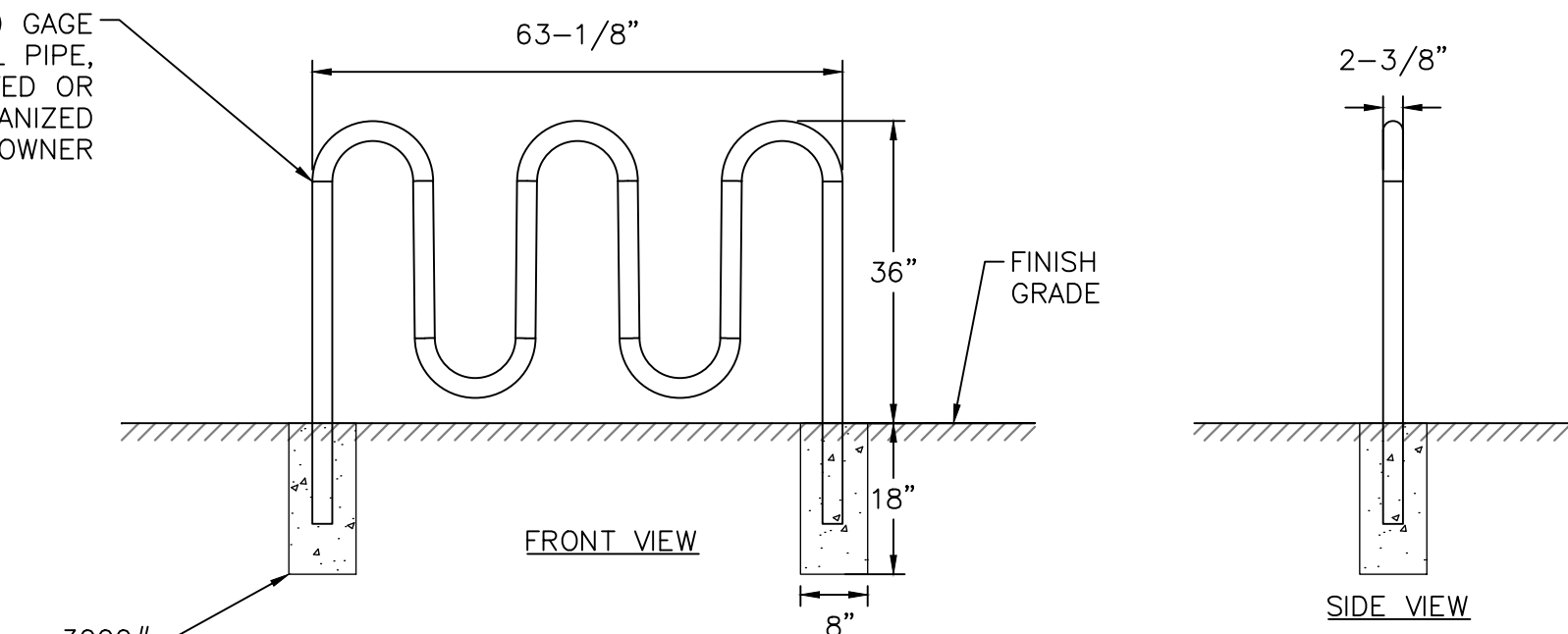


COMPOST FILTER SOCK NTS

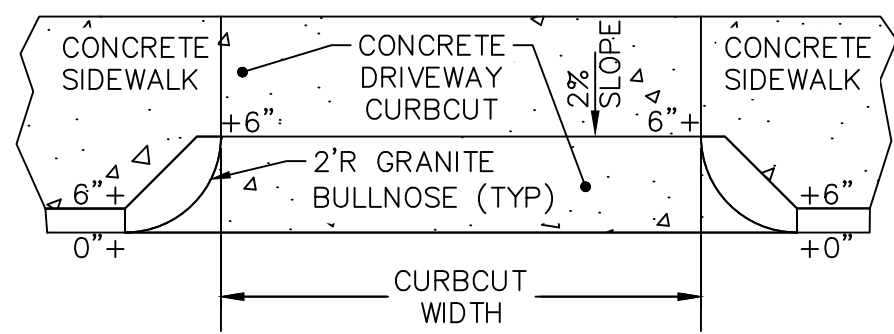
- NOTE:
- 1) PROVIDE A 3' TO 6' LEVEL AREA BETWEEN THE SILT SOCK AND THE TOE OF ANY SLOPE TO PROVIDE AREA FOR SEDIMENT ACCUMULATION.



STABILIZED CONSTRUCTION ENTRANCE NTS

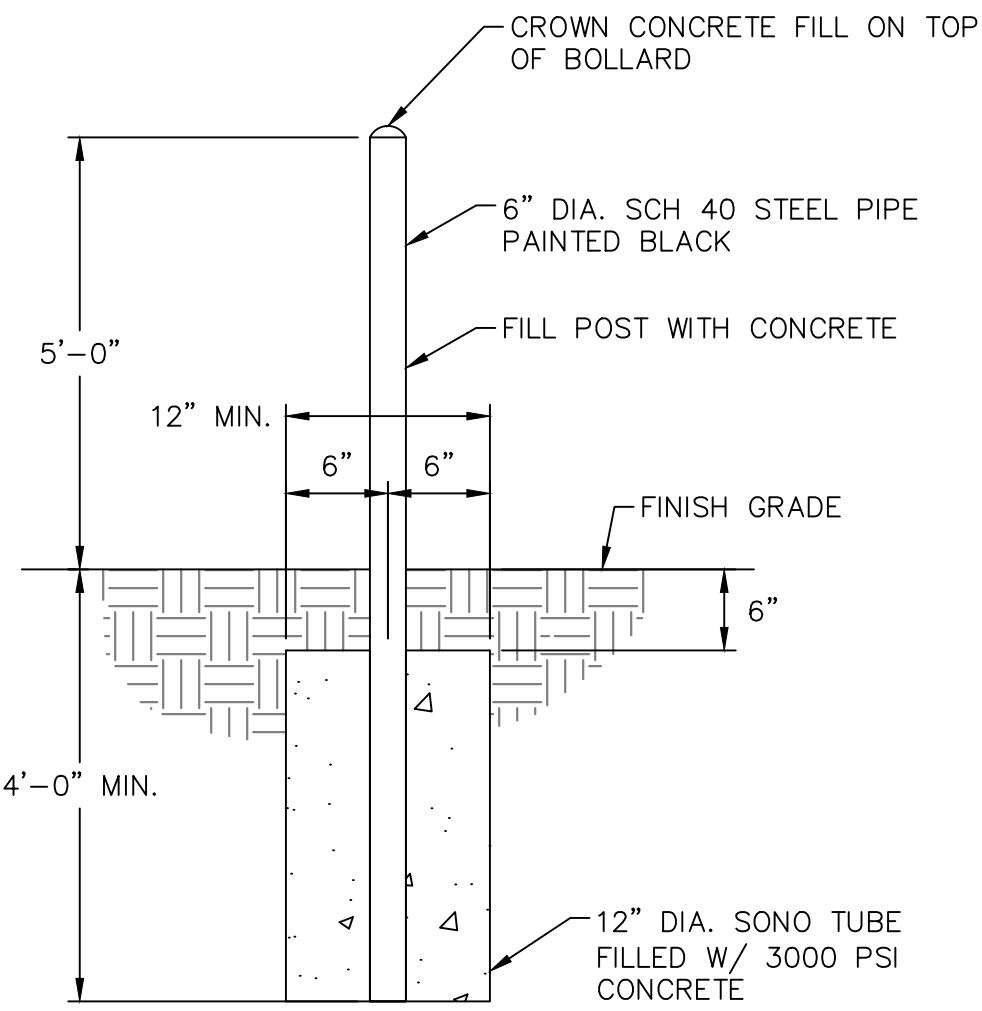


BIKE RACK NTS



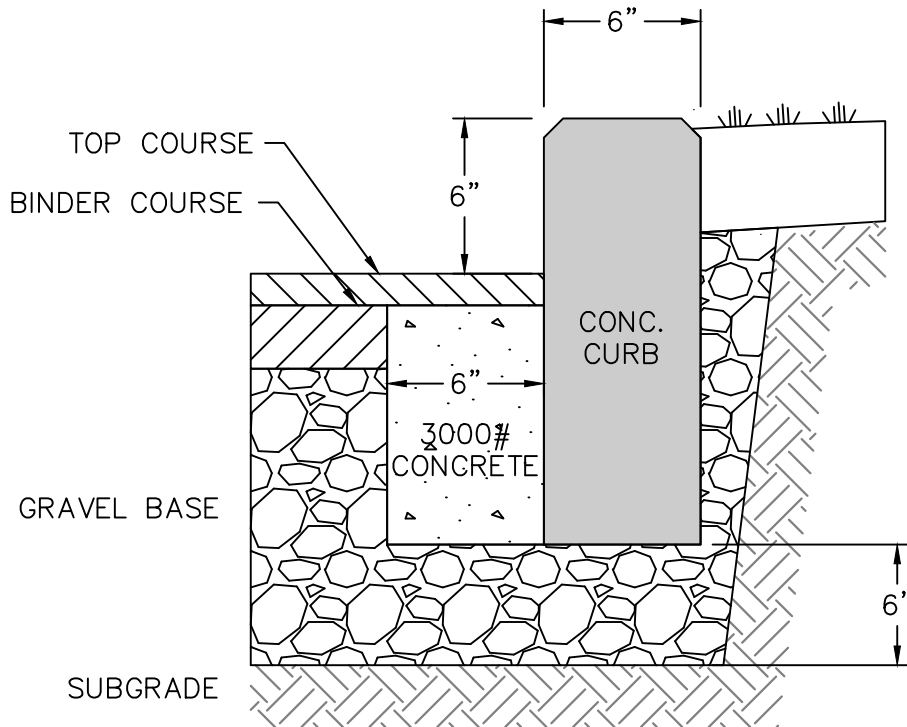
WORCESTER STANDARD CURB CUT NTS

- NOTES:
- 1) CONCRETE SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE CONCRETE WALK DETAIL ON THESE PLANS (6\"/>

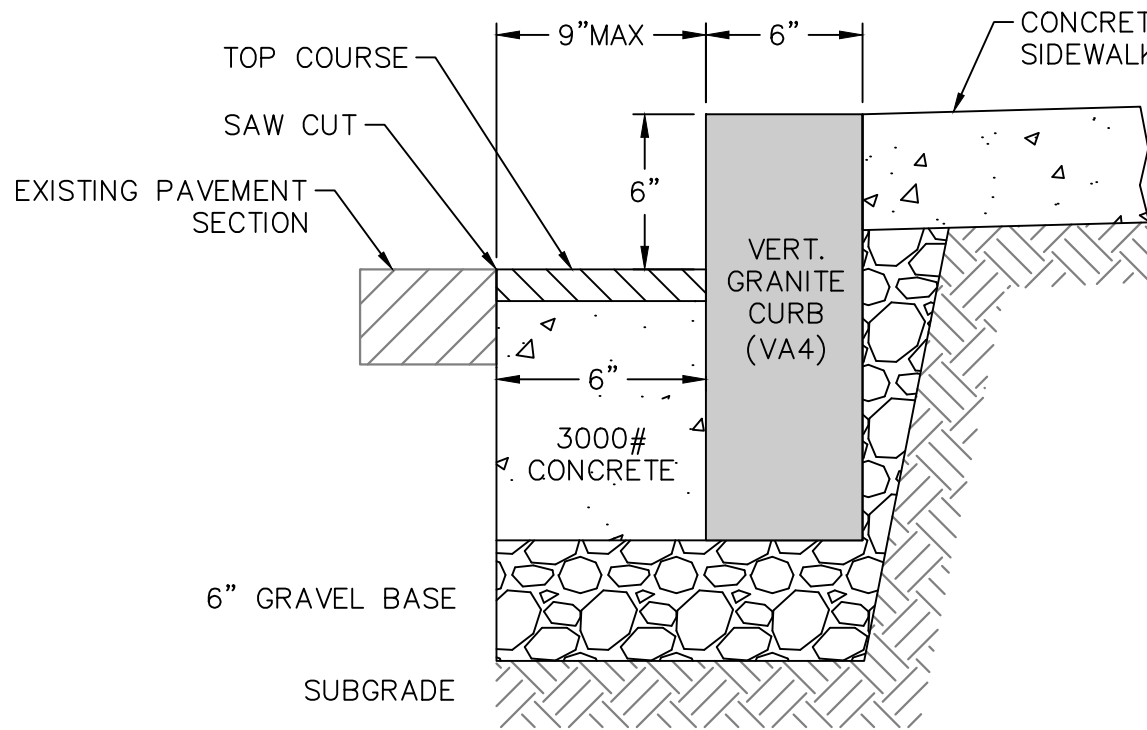


BOLLARD NTS

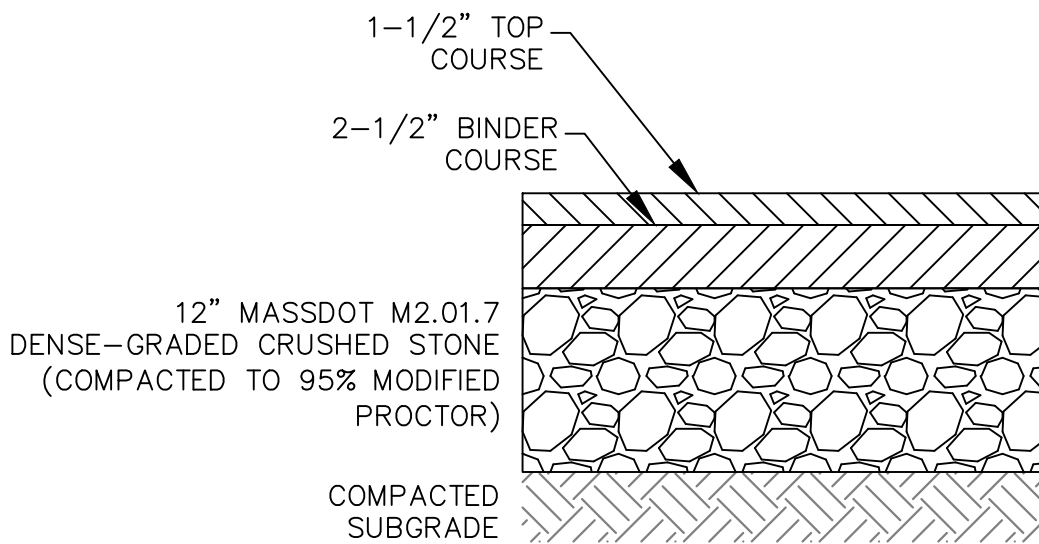
- NOTE:
- 1) THIS DETAIL APPLIES TO BOLLARD INSTALLED AROUND THE PROPOSED TRANSFORMER AND COMPLIES WITH NGRID SPECIFICATIONS.



PRECAST CONCRETE CURB NTS

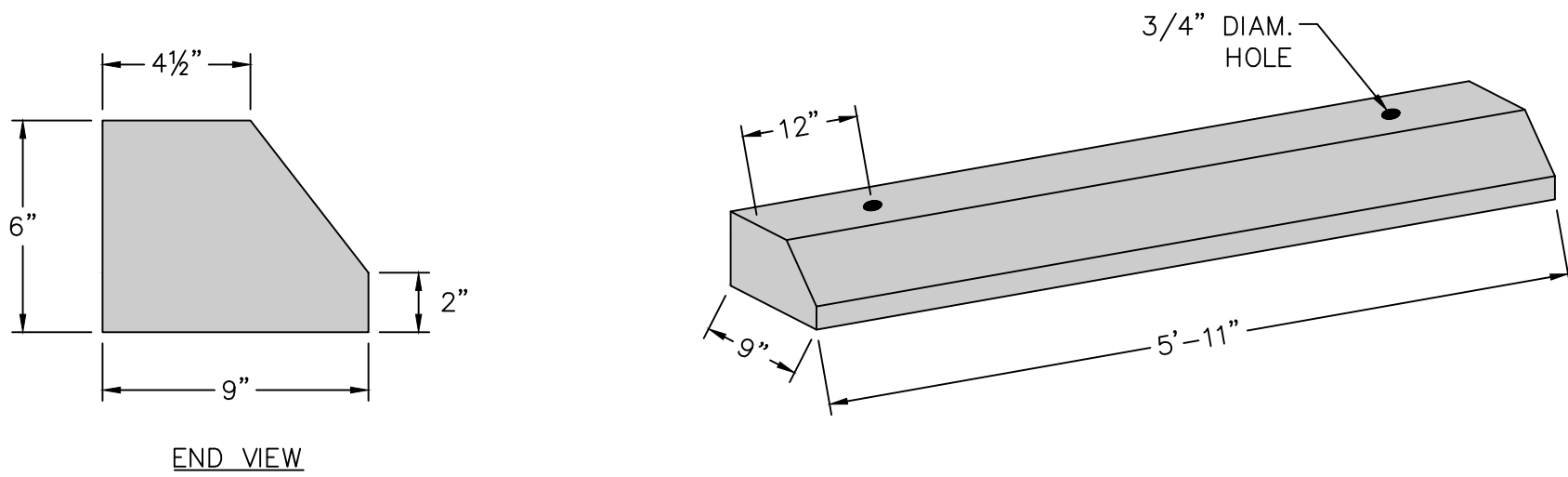


VERTICAL GRANITE CURB ALONG EXISTING ROADWAY NTS



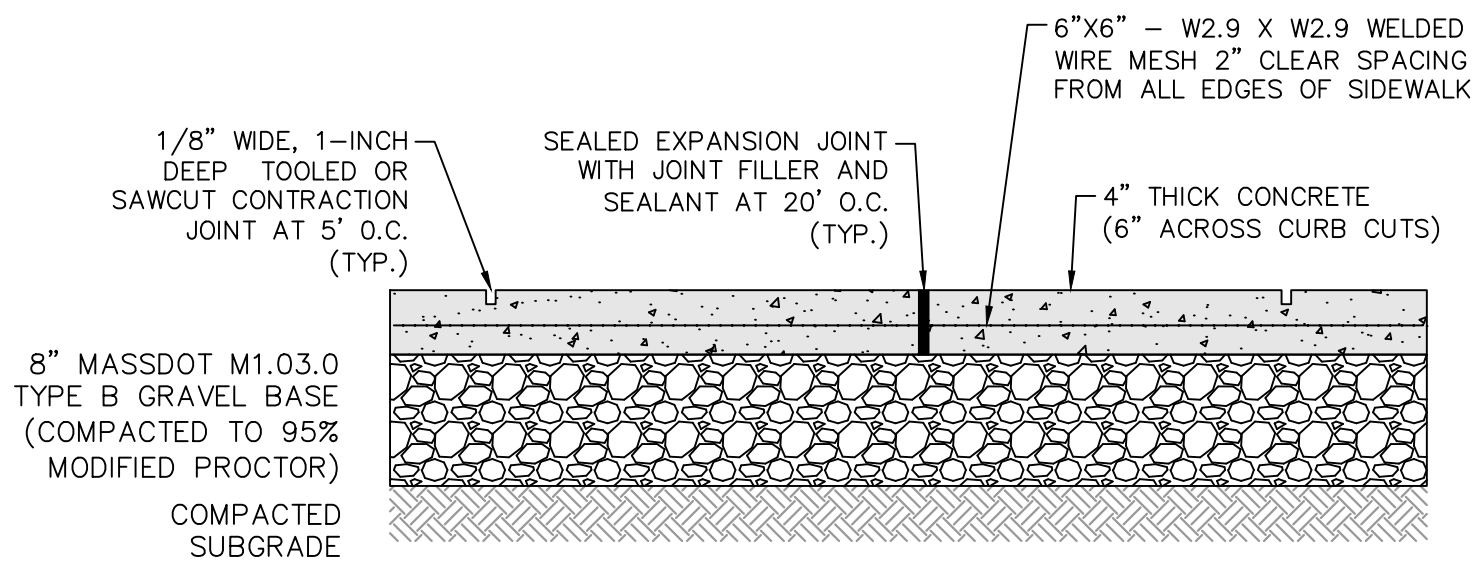
PAVEMENT SECTION NTS

- NOTES:
- 1) TAMP ALL ASPHALT EDGES THAT ABUT LAWN, LANDSCAPED OR OTHER SOFT SURFACE.
  - 2) BINDER COURSE: - MASSDOT M3.11.03, TABLE A, "HMA INTERMEDIATE COURSE DENSE BINDER" OR SUPERPAVE INTERMEDIATE COURSE - 19.0MM (MIXTURE DESIGNATION SIC - 19.0).
  - 3) TOP COURSE: - MASSDOT M3.11.03, TABLE A, "SURFACE COURSE STANDARD TOP" OR SUPERPAVE SURFACE COURSE - 12.5MM (MIXTURE DESIGNATION SSC - 12.5).



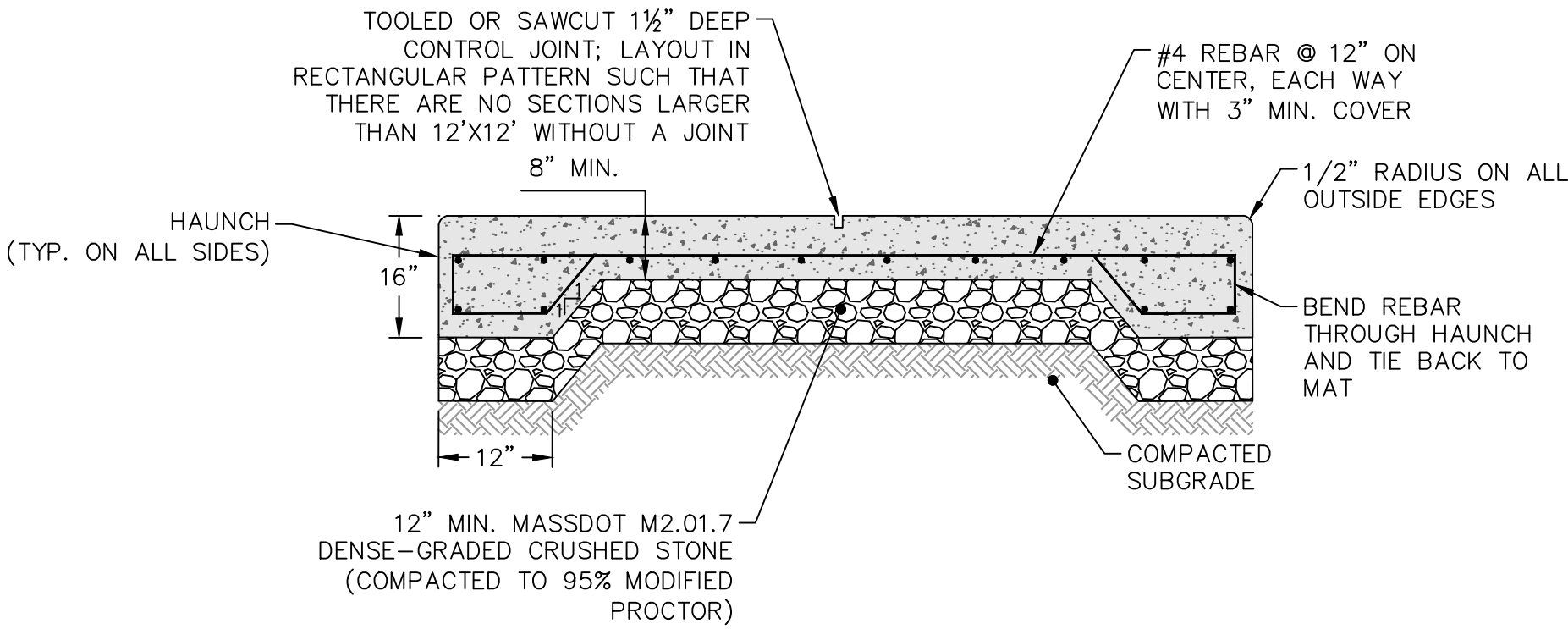
WHEEL STOP NTS

- NOTES:
- 1) WHEEL STOPS SHALL BE CONSTRUCTED OF 4,000 PSI CONCRETE (28 DAYS) AND SECURED TO THE GROUND WITH STEEL PINS.
  - 2) RUBBER OR OTHER MATERIAL WHEEL STOPS MAY BE SUBSTITUTED WITH THE APPROVAL OF THE ENGINEER.



CONCRETE SIDEWALK NTS

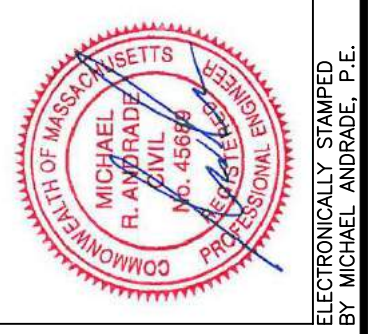
- NOTES:
- 1) CONCRETE MIX DESIGN SHALL BE FOR EXTERIOR USE; AIR-ENTRAINED, 4,000 PSI MIN. (28-DAY), 3/4\"/>
  - 2) WHEN THE WALKWAY ABUTS A STRUCTURE OR EXISTING HARD SURFACE (CONCRETE, ETC.), INSTALL AN EXPANSION JOINT ACROSS THE ENTIRETY OF THE ABUTTING FACE WITH PREFORMED FIBER JOINT FILLER AND FILL WITH 1\"/>
  - 3) WALKWAYS SHALL HAVE A LIGHT BROOM FINISH PERPENDICULAR TO THE DIRECTION OF FOOT TRAFFIC. THERE SHALL BE NO SMOOTHED TOOL JOINTS; BROOM FINISH SHALL EXTEND TO THE EDGES OF THE PAD AND ACROSS ANY JOINTS.



CONCRETE PAD-HEAVY DUTY NTS

- NOTES:
- THIS DETAIL APPLIES TO THE PROPOSED DUMPSTER PAD.
- 1) CONCRETE MIX DESIGN SHALL BE FOR EXTERIOR USE; AIR-ENTRAINED, 4,000 PSI MIN. (28-DAY), 3/4\"/>
  - 2) OMIT THE HAUNCH WHEN ABUTTING ANOTHER HARD SURFACE SUCH AS EXISTING CONCRETE (BITUMINOUS IS NOT A HARD SURFACE).
  - 3) WHEN THE PAD ABUTS A STRUCTURE OR EXISTING HARD SURFACE (CONCRETE, ETC.), INSTALL AN EXPANSION JOINT ACROSS THE ENTIRETY OF THE ABUTTING FACE WITH PREFORMED FIBER JOINT FILLER AND FILL WITH 1\"/>
  - 4) PAD SHALL HAVE A MEDIUM BROOM FINISH. THERE SHALL BE NO SMOOTHED TOOL JOINTS; BROOM FINISH SHALL EXTEND TO THE EDGES OF THE PAD AND ACROSS ANY JOINTS.

REVISIONS		DESCRIPTION	DATE	BY	ISSUED FOR PERMITTING
1	09/07/23	DFS	NO.		



PREPARED FOR:	OLSI G/INKO	PRJ. NO.: 23125
DATE: 09/07/23	487 PARK AVENUE, WORCESTER, MA 01603	CHK. BY: MRA
SCALE: 1"=20'		DRW. BY: DFS
		DES. BY: DFS





1) THIS DETAIL APPLIES TO THE CONSTRUCTION OF ALL PROPOSED SIGNS; (SIGN TYPE AND DIMENSIONS MAY VARY FROM THOSE SHOWN). HANDICAP VAN ACCESSIBLE PLACARD SHALL BE MOUNTED DIRECTLY BELOW PRIMARY SIGN.



- 1) FOR SIDEWALKS PART OF AN ACCESSIBLE ROUTE, THE MAXIMUM ALLOWABLE RUNNING SLOPE SHALL BE 4.5% AND THE MAXIMUM ALLOWABLE CROSS SLOPE SHALL BE 1.5% (1.0% MIN.).
- 2) "LEVEL LANDING" SHALL BE SLOPED NO MORE THAN 1.5% IN ANY DIRECTION (1.0% MIN. FOR CROSS SLOPE).
- 3) A "LEVEL LANDING" 48" MIN. IN LENGTH MUST BE PROVIDED AT THE TOP OF EACH RAMP.



1) PAVEMENT MARKINGS SHALL BE PAINTED WITH WHITE TRAFFIC PAINT CONFORMING TO SECTION M7.01.08 OF THE MASSDOT STANDARD SPECIFICATIONS FOR HIGHWAYS AND BRIDGES, LATEST EDITION. LINE WIDTH SHALL BE 4 INCHES. HANDICAP SYMBOL MARKINGS SHALL COMPLY WITH 521 CMR WITH WHITE SYMBOL ON BLUE BACKGROUND.



- 1) INCREASE EXPOSED HEIGHT TO 30" IN AND ADJACENT TO VEHICULAR TRAFFIC AREAS.
- 2) CONTRACTOR SHALL COORDINATE WITH ELECTRICAL PLANS AND CONTRACTOR FOR BOLTS AND BOLT PATTERN FOR LIGHT POLE ANCHOR BOLTS.



DUMPSTER ENCLOSURE NTS

— 6"X6" PT POST WITH  
VINYL COVER (TYP.)  
SPACED AS REQUIRED  
BY MANUFACTURER.

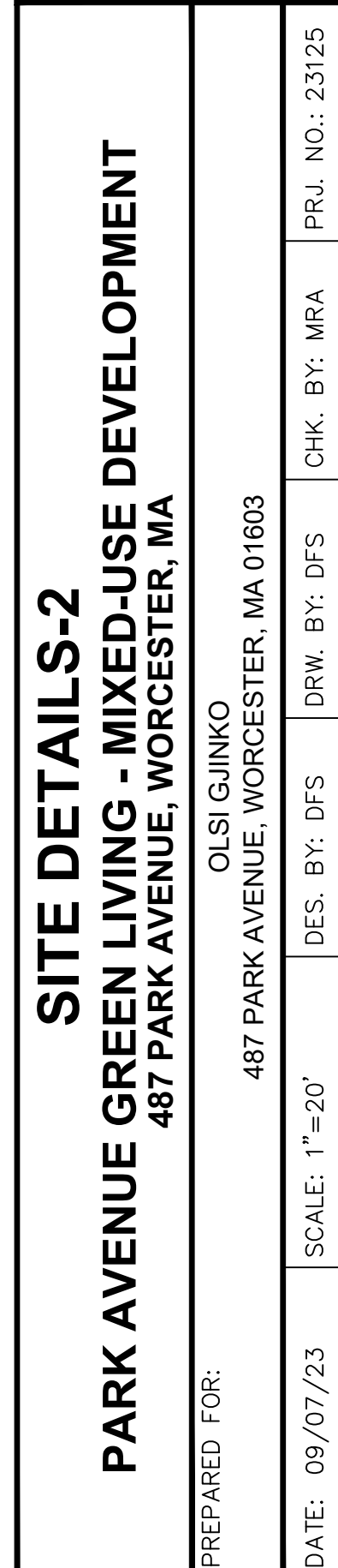


NOTE:  
1) SET SHRUB ROOT CROWN FLUSH TO 2" HIGHER THAN FINISH GRADE.



NOTES:

- 1) SET TREE ROOT CROWN 2" ABOVE FINISH GRADE.
- 2) DO NOT PLACE SOIL OVER ROOTBALL.

[illegible]





TEMPORARY BLIND FLANGE W/  $\frac{3}{4}$ " TAP AND VALVE FOR DISINFECTION & PRESSURE TESTING

18" OFF INSIDE WALL FACE

PLUMBING/FIRE PROTECTION CONTRACTOR LIMIT-OF-WORK

SITE CONTRACTOR LIMIT-OF-WORK

FINISH FLOOR

BUILDING WALL

12"

BACKFILL PER BUILDING SLAB/FOOTING REQUIREMENTS

HOOK W/  $\frac{3}{4}$ " REDI-ROD (2 REQ'D)

CL 53 DI (FLG.x.P.E.)  
(MATCH SITE PLAN SERVICE PIPE DIAMETER)

THRUST BLOCK (SEE DETAIL)

SECURE REDI-RODS INTO THRUST BLOCK W/ HOOK

90° BEND

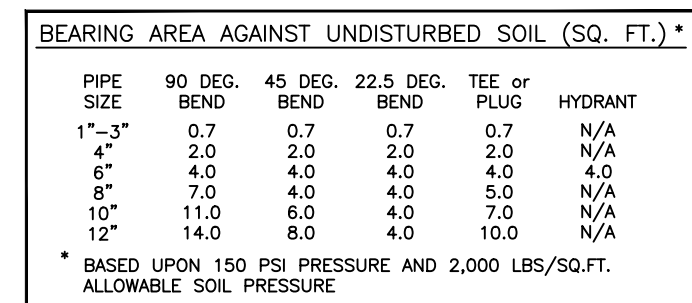
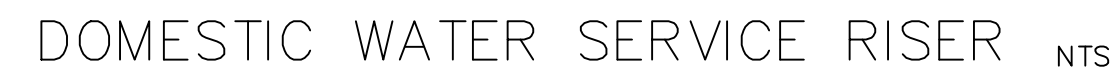
POURED 3000# CONCRETE UNDER FOOTING

12" SDR 35 PVC SLEEVE (WIDTH OF FOOTING PLUS 6 INCHES EACH SIDE)

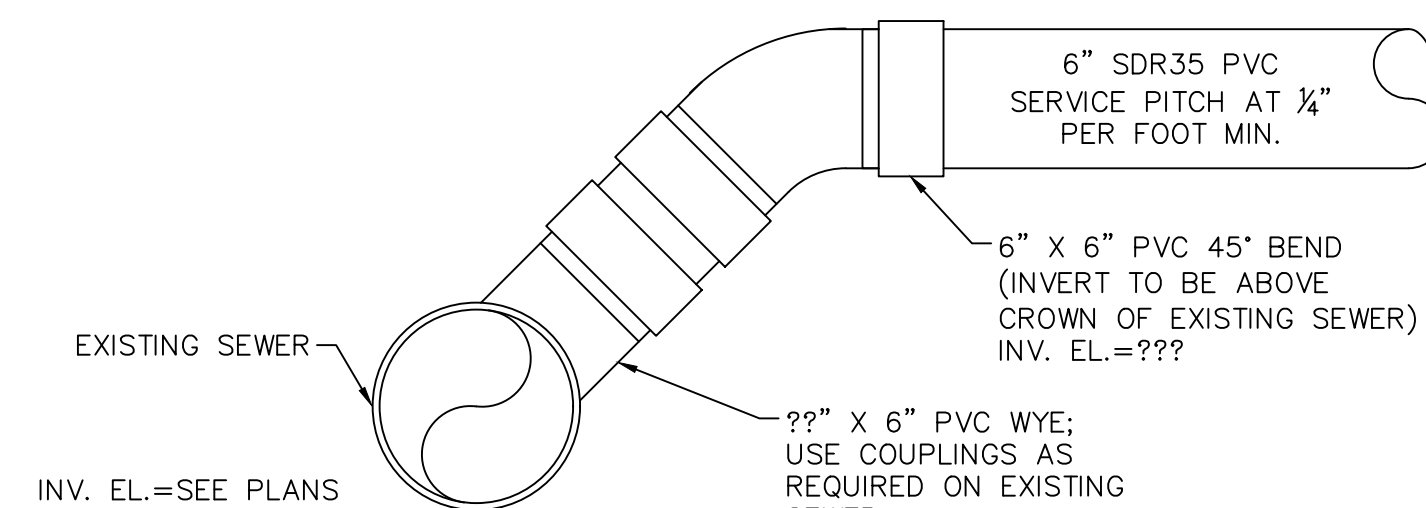
12" CENTERLINE

FIRE PROTECTION WATER SERVICE PIPE PER PLANS

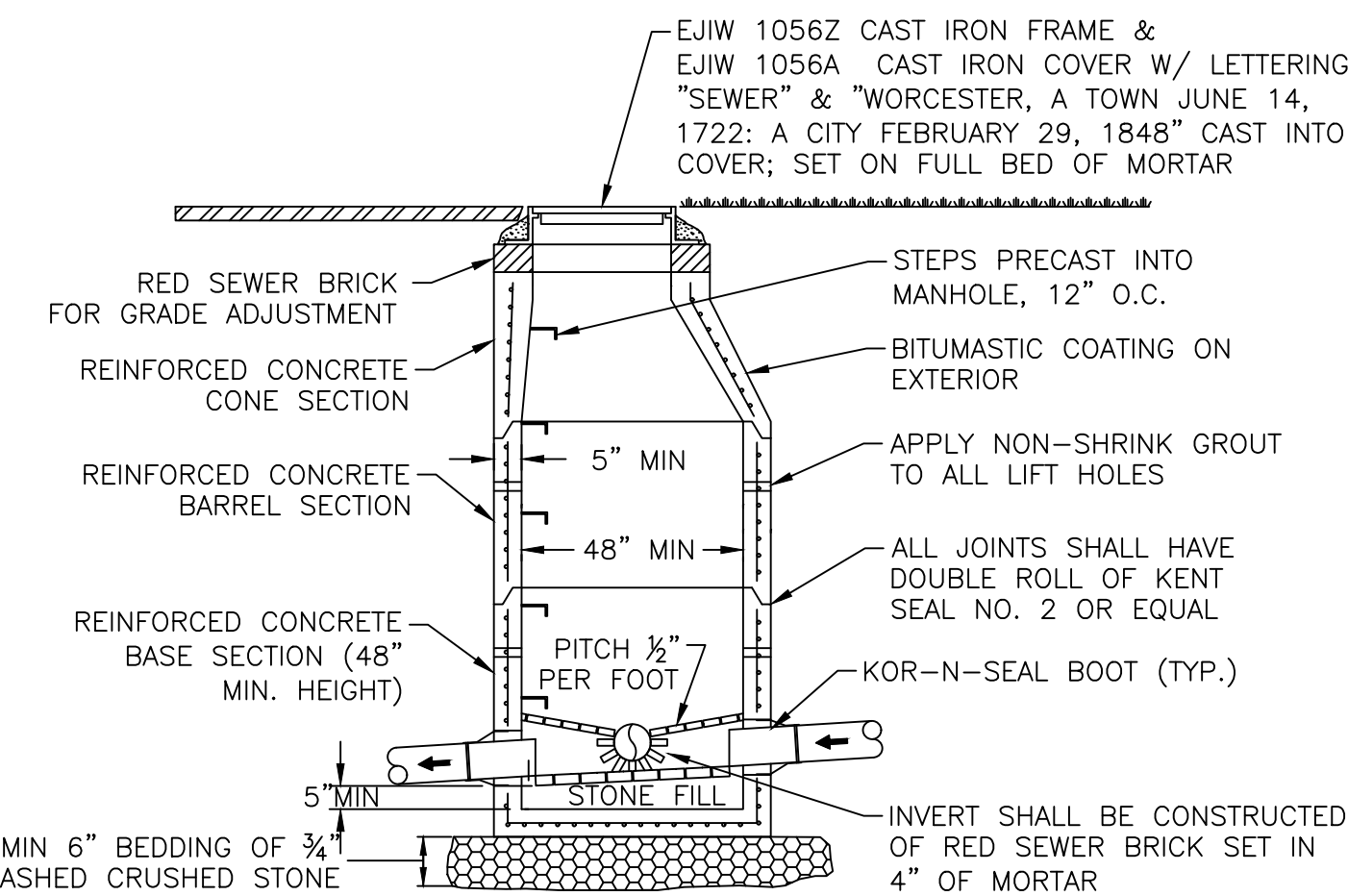
FIRE PROTECTION WATER SERVICE RISER NTS



THRUST BLOCK DETAIL NTS

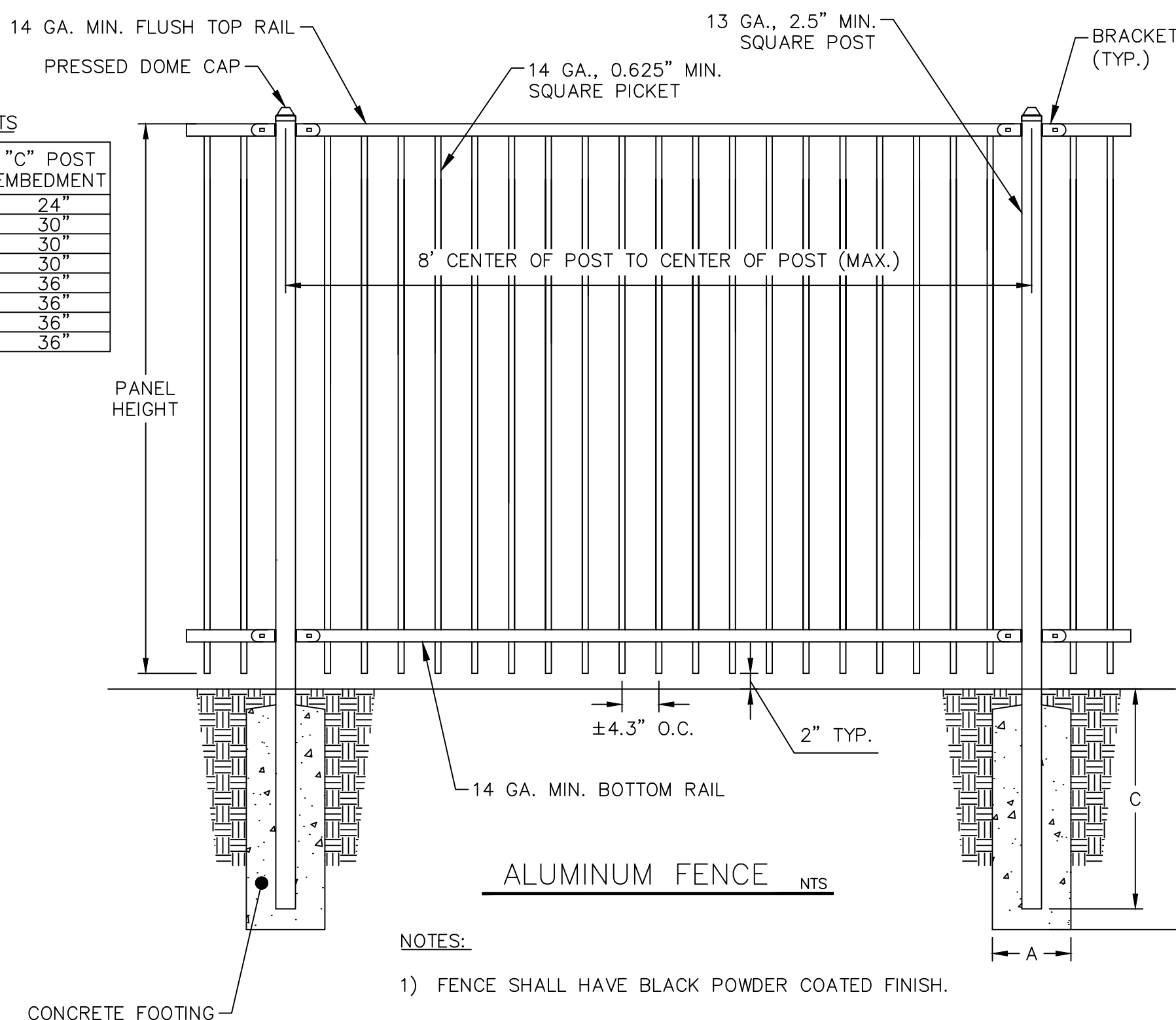


SEWER SERVICE CONNECTION DETAIL NTS



SEWER MANHOLE NTS

<u>LINE AND TERMINAL POSTS</u>				
PANEL HEIGHT	TYPE POST	"A" DIAM.	"B" DEPTH	"C" POST EMBEDMENT
3'-4'	LINE	6"	24"	24"
	TERMINAL	10"	32"	30"
5'	LINE	8"	32"	30"
	TERMINAL	10"	32"	30"
6'-9'	LINE	12"	38"	36"
	TERMINAL	12"	38"	36"
10'-12'	LINE	18"	38"	36"
	TERMINAL	18"	38"	36"



ALUMINUM FENCE NTS

PAVEMENT & GRAVEL IN PER SPECIFICATIONS

SAWCUT EXISTING PAVEMENT

12"

LOAM & SEED PER SPECIFICATIONS

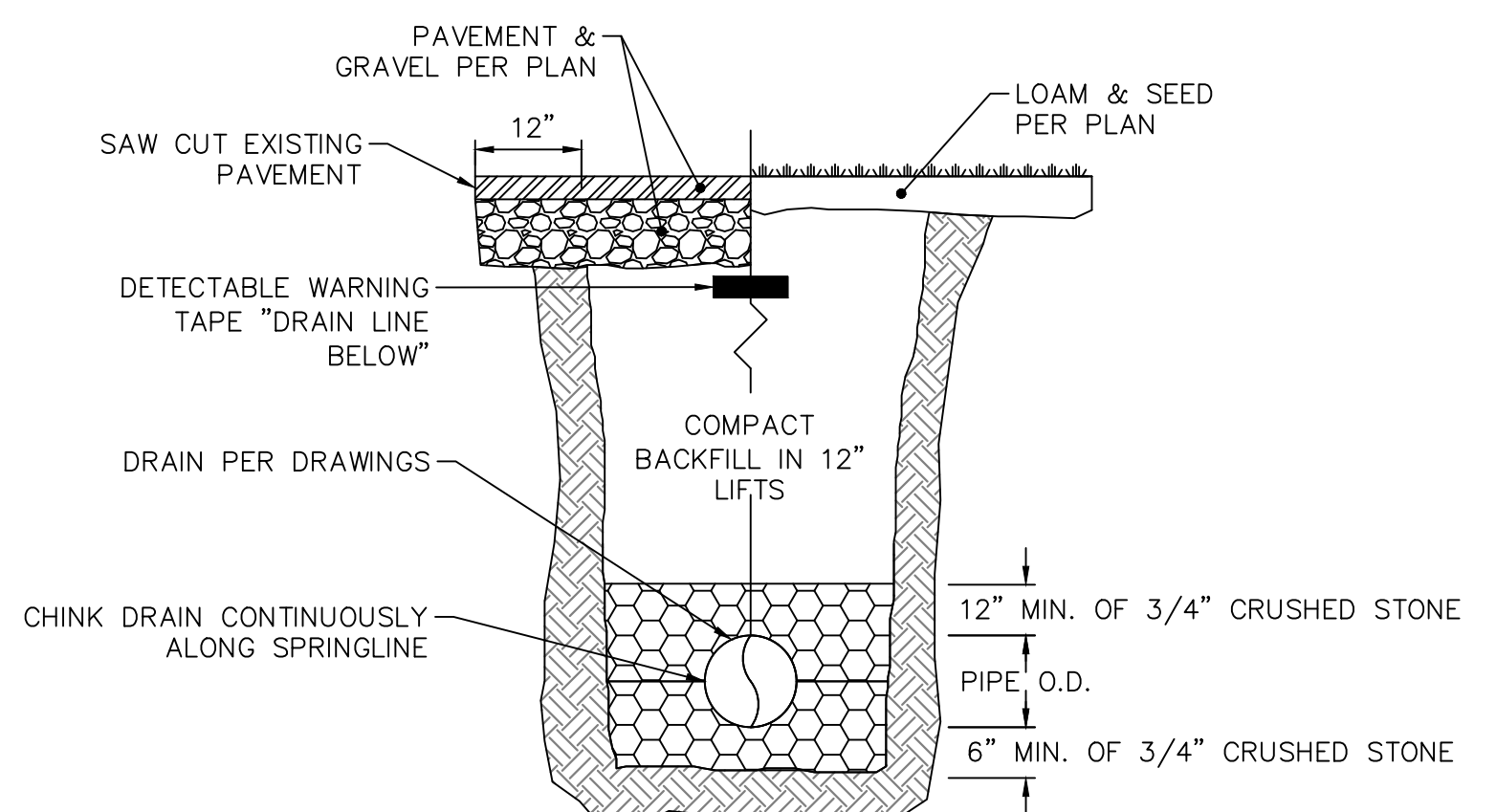
DETECTABLE WARNING TAPE UTILITY COMPANIES

DEPTH PER UTILITY COMPANIES

COMPACT BACKFILL IN 12" LIFTS

CONDUIT, BEDDING & BACKFILL PER UTILITY COMPANIES

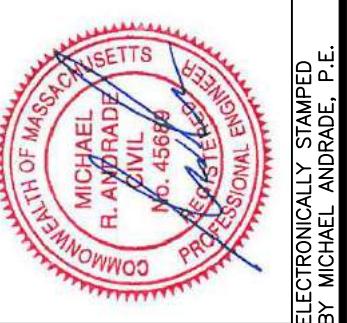
ELECTRICAL, CABLE & TELEPHONE  
SERVICE TRENCH SECTION



HDPE/PVC DRAIN TRENCH SECTION NTS

NOTES:

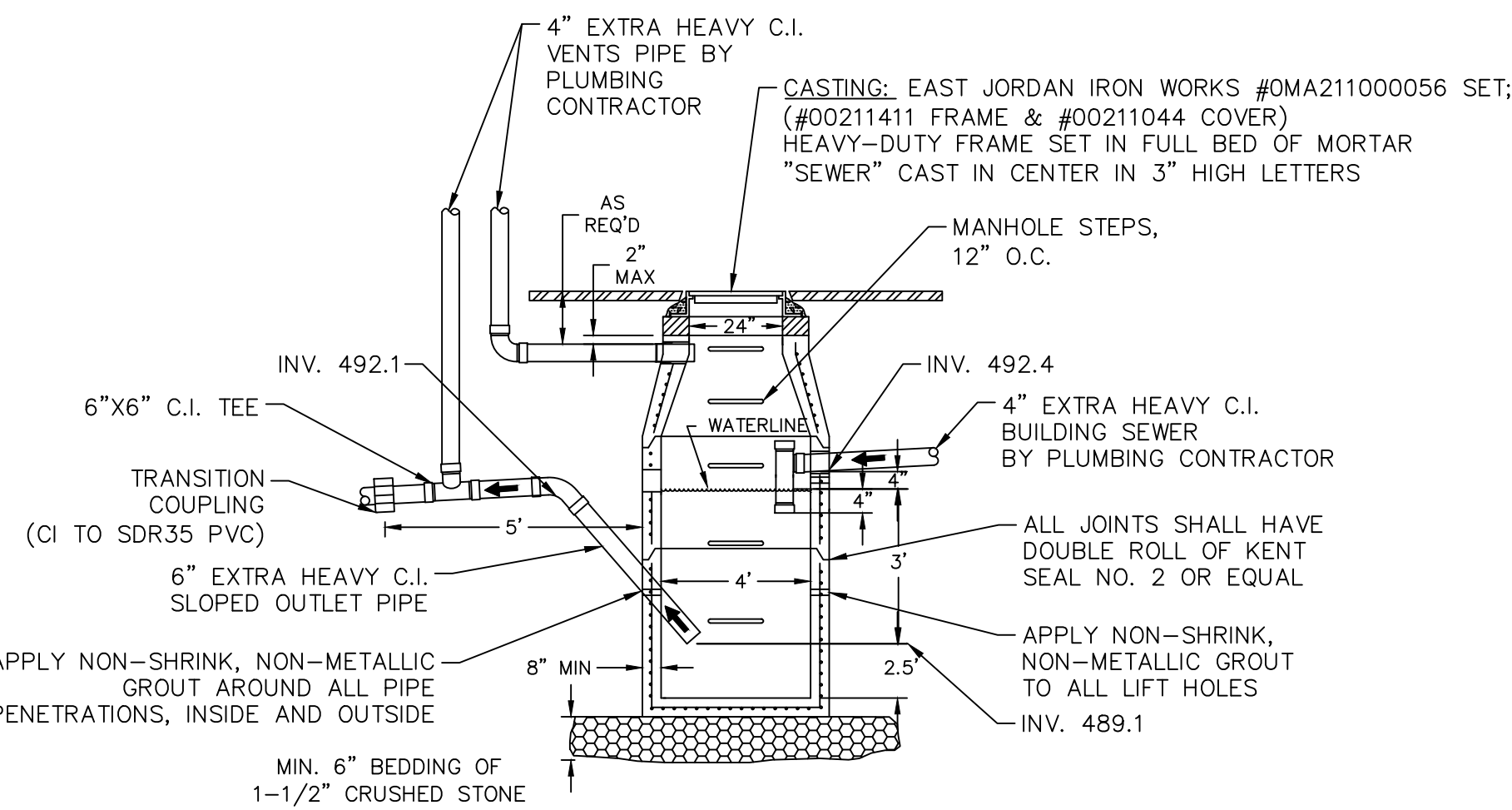
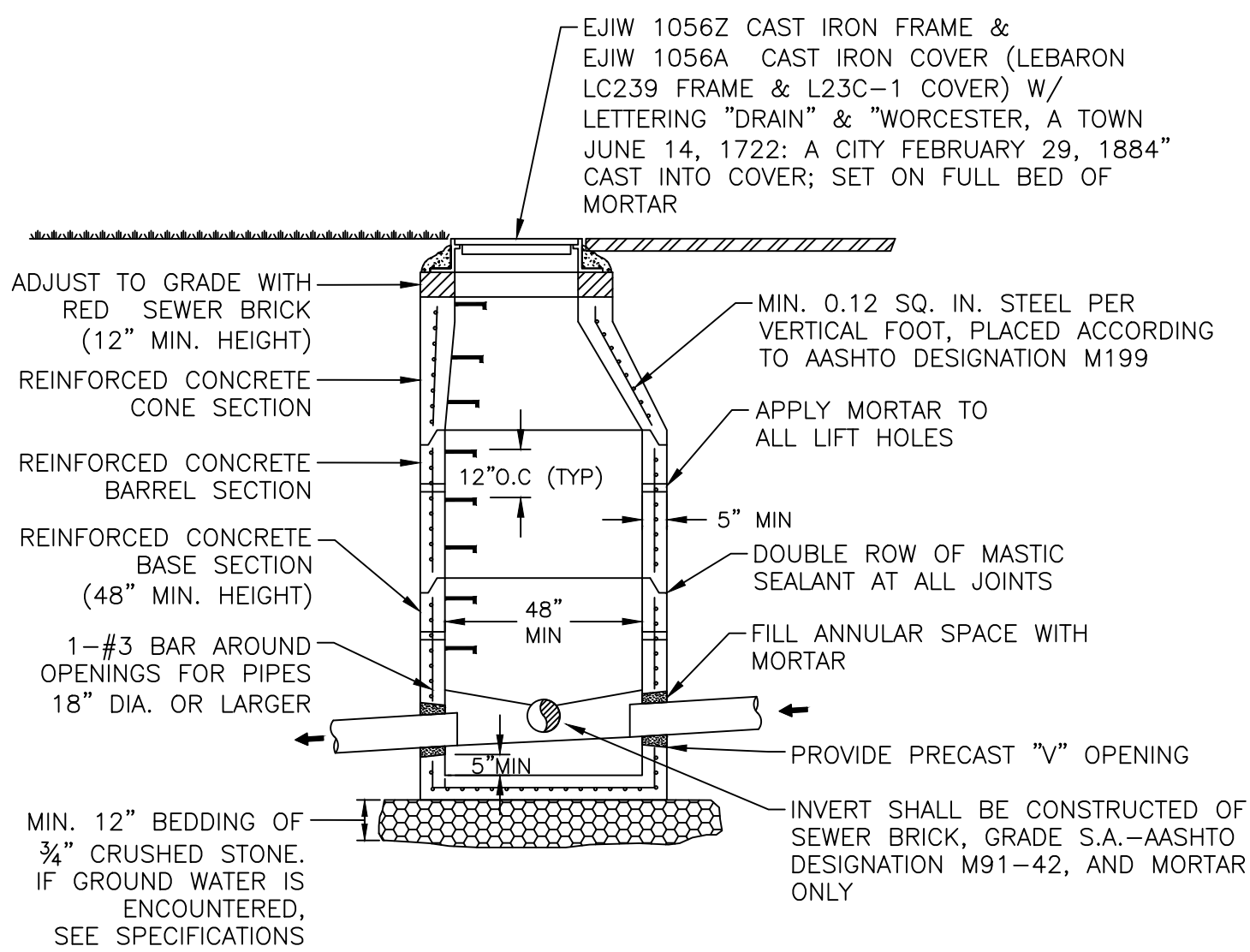
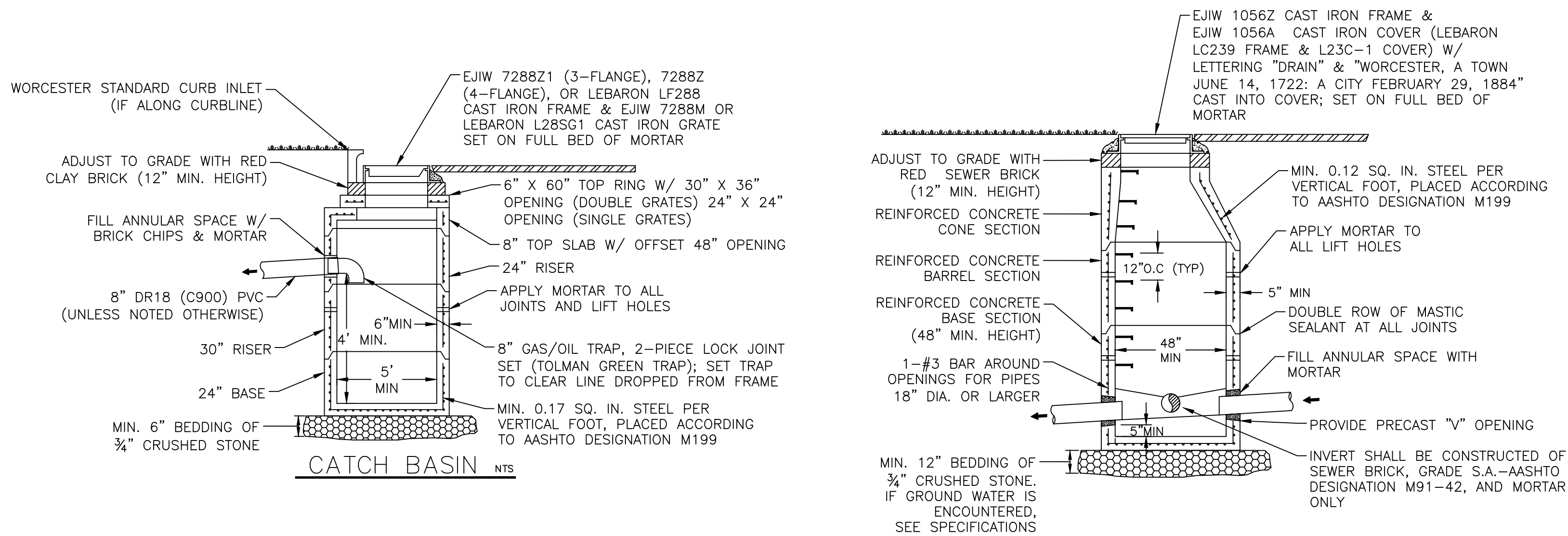
- 1) BACKFILL SHALL BE AN AASHTO CLASS III SOIL; EITHER TRENCH SPOILS OR AN IMPORTED SAND AND GRAVEL WITH FINES AND COMPACTED TO 90% OF THE PROCTOR DENSITY.
- 2) BACKFILL OF HDPE PIPE SHALL CONFORM TO ASTM D2321 AND/OR MANUFACTURER'S SPECIFICATIONS.

[illegible]

**SITE DETAILS-3**  
**PARK AVENUE GREEN LIVING - MIXED-USE DEVELOPMENT**  
487 PARK AVENUE, WORCESTER, MA

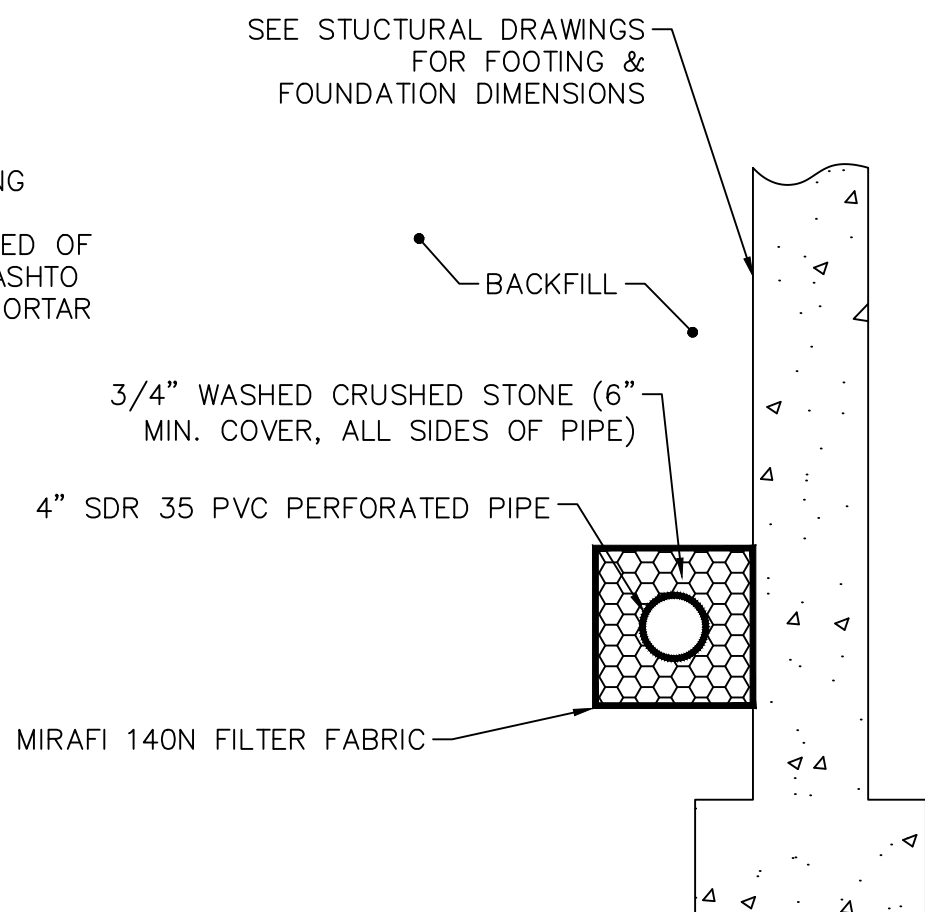
487 PARK AVENUE, WORCESTER, MA 01603				
DATE: 09/07/23	SCALE: 1"=20'	DES. BY: DFS	DRW. BY: DFS	CHK. BY: MRA
				PRJ. NO.: 23125





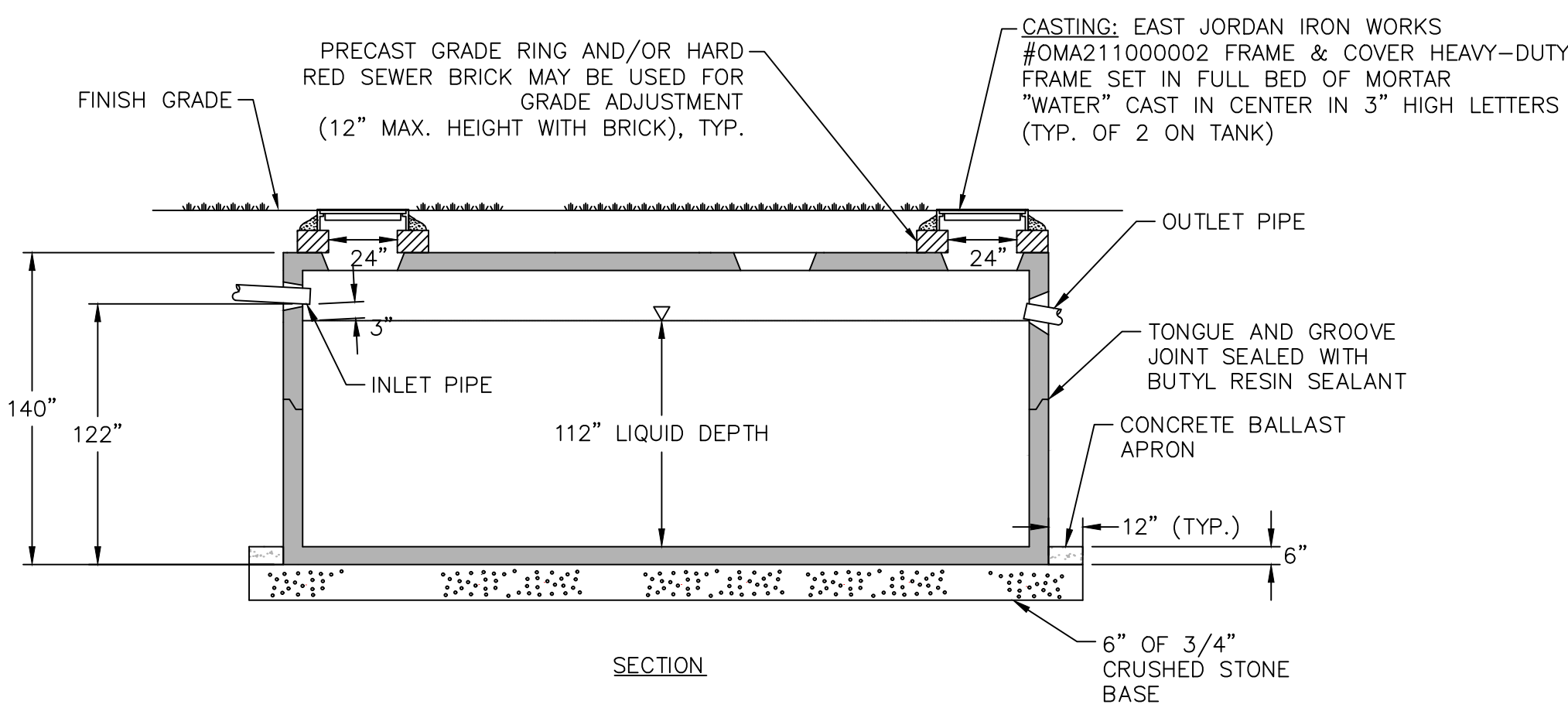
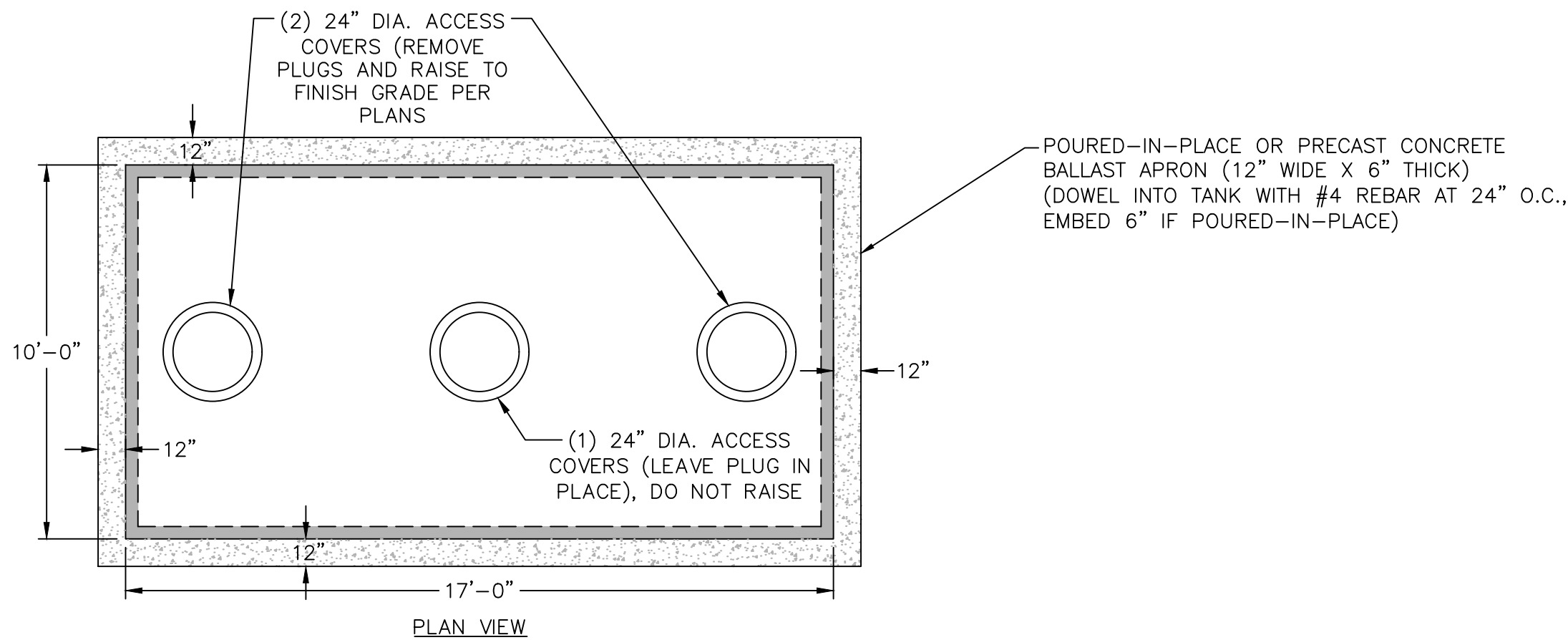
OIL/WATER SEPARATOR NTS

- NOTES:
- OIL WATER SEPARATOR CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE CURRENT MASSACHUSETTS PLUMBING CODE; IN THE EVENT OF DISCREPANCY BETWEEN THE CODE AND THIS DRAWING, THE CODE SHALL SUPERCEDE.
  - ALL PIPING INCLUDING VENTS FROM BUILDING TO TRANSITION COUPLING SHALL BE CAST IRON INSTALLED BY PLUMBING CONTRACTOR.



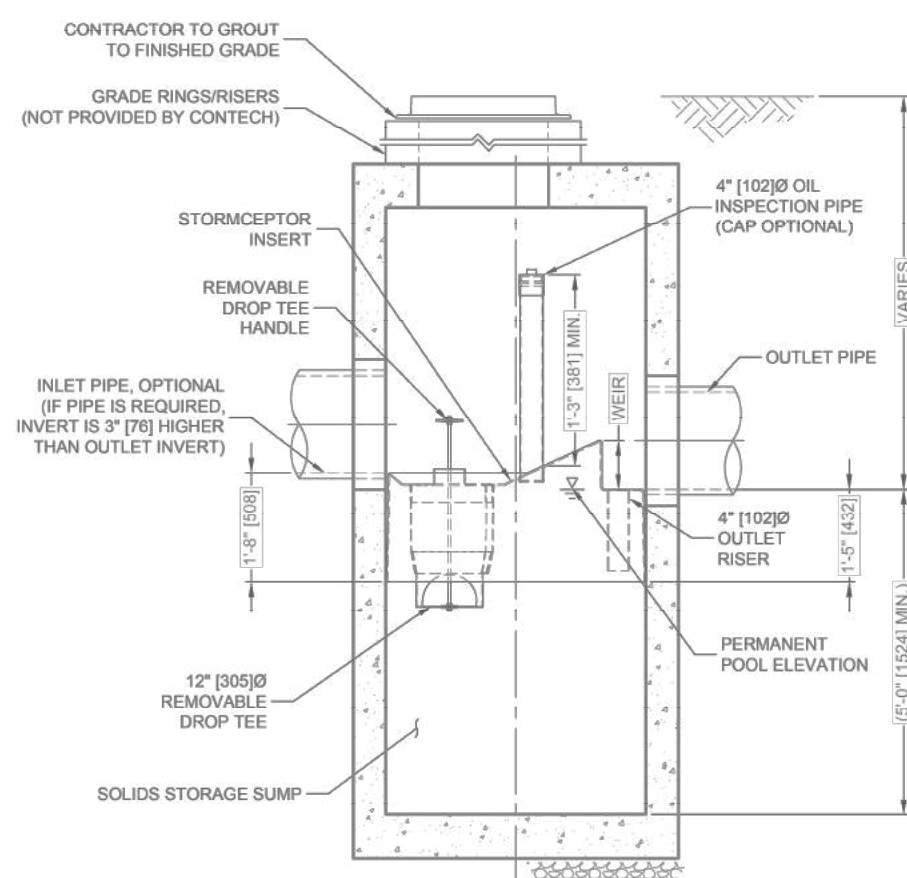
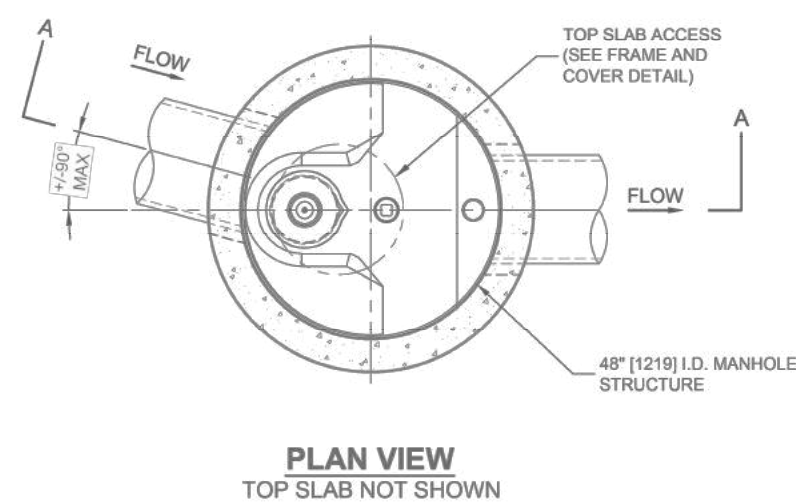
PERIMETER DRAIN DETAIL

- NOTE:
- PERIMETER DRAIN SHALL CONNECT TO THE PROPOSED SITE DRAINAGE SYSTEM WITH A POSITIVE SLOPE AND OUTFALL.
  - SEE ARCHITECTURAL PLANS FOR DRAIN LOCATIONS.



10,000 GALLON ROOF RUNOFF STORAGE TANK NTS

- NOTE:
- THE TANK SHALL CONFORM TO THE 310 CMR (TITLE 5) REQUIREMENTS FOR CONSTRUCTION AND WATERTIGHTNESS.
  - THE DESIGN IS BASED UPON THE DIMENSIONS OF A TANK MANUFACTURED BY SHEA CONCRETE PRODUCTS, AMESBURY, MA (MODEL 8X17-75 TK-10000C2C)
  - TANK SHALL BE DESIGNED TO BE WATERTIGHT AND WITHSTAND HS-20 LOADING MINIMUM.



SECTION A-A

Stormceptor®

STORMCEPTOR DESIGN NOTES

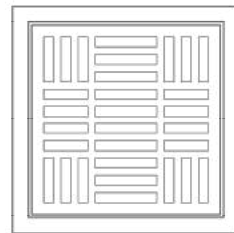
THE STANDARD STC450I CONFIGURATION WITH ROUND, SOLID FRAME AND COVER, AND INLET PIPE IS SHOWN. ALTERNATE CONFIGURATIONS ARE AVAILABLE AND ARE LISTED BELOW. SOME CONFIGURATIONS MAY BE COMBINED TO SUIT SITE REQUIREMENTS.

CONFIGURATION DESCRIPTION

- GRATED INLET ONLY (NO INLET PIPE)  
GRATED INLET WITH INLET PIPE OR PIPES  
CURB INLET ONLY (NO INLET PIPE)  
CURB INLET WITH INLET PIPE OR PIPES

SITE SPECIFIC DATA REQUIREMENTS

STRUCTURE ID	
WATER QUALITY FLOW RATE (cfs [L/s])	
PEAK FLOW RATE (cfs [L/s])	
RETURN PERIOD OF PEAK FLOW (yr)	
RIM ELEVATION	
PIPE DATA:	
INLET PIPE 1	
INLET PIPE 2	
OUTLET PIPE	
NOTES / SPECIAL REQUIREMENTS:	



FRAME AND COVER  
(MAY VARY)  
NOT TO SCALE

FRAME AND GRATE  
(MAY VARY)  
NOT TO SCALE

GENERAL NOTES

- CONTECH TO PROVIDE ALL MATERIALS UNLESS NOTED OTHERWISE.
- FOR SITE SPECIFIC DRAWINGS WITH DETAILED STRUCTURE DIMENSIONS AND WEIGHT, PLEASE CONTACT YOUR CONTECH ENGINEERED SOLUTIONS LLC REPRESENTATIVE. [www.contechES.com](http://www.contechES.com)
- STORMCEPTOR WATER QUALITY STRUCTURE SHALL BE IN ACCORDANCE WITH ALL DESIGN DATA AND INFORMATION CONTAINED IN THIS DRAWING. CONTRACTOR TO CONFIRM STRUCTURE MEETS REQUIREMENTS OF PROJECT.
- STORMCEPTOR STRUCTURE SHALL MEET AASHTO HS20 LOAD RATING, ASSUMING EARTH COVER OF 0'-2" (610) AND GROUNDWATER ELEVATION AT, OR BELOW, THE OUTLET PIPE INVERT ELEVATION. ENGINEER OF RECORD TO CONFIRM ACTUAL GROUNDWATER ELEVATION. CASTINGS SHALL MEET AASHTO M208 AND BE CAST WITH THE CONTECH LOGO.
- STORMCEPTOR STRUCTURE SHALL BE PRECAST CONCRETE CONFORMING TO ASTM C493 AND AASHTO LOAD FACTOR DESIGN METHOD. IT IS SUGGESTED THAT ALL JOINTS BELOW PIPE INVERTS ARE GROUTED.
- ALTERNATE UNITS ARE SHOWN IN MILLIMETERS (mm).

INSTALLATION NOTES

- ANY SUB-BASE, BACKFILL, DEPTH, AND/OR ANTI-FLOTATION PROVISIONS ARE SITE-SPECIFIC DESIGN CONSIDERATIONS AND SHALL BE SPECIFIED BY ENGINEER OF RECORD.
- CONTRACTOR TO PROVIDE EQUIPMENT WITH SUFFICIENT LIFTING AND REACH CAPACITY TO LIFT AND SET THE STORMCEPTOR MANHOLE STRUCTURE.
- CONTRACTOR TO INSTALL JOINT SEALANT BETWEEN ALL STRUCTURE SECTIONS AND ASSEMBLE STRUCTURE.
- CONTRACTOR TO PROVIDE, INSTALL, AND GROUT INLET AND OUTLET PIPE(S). MATCH PIPE INVERTS WITH ELEVATIONS SHOWN. ALL PIPE CENTERLINES TO MATCH PIPE OPENING CENTERLINES.
- CONTRACTOR TO TAKE APPROPRIATE MEASURES TO ASSURE UNIT IS WATER TIGHT, HOLDING WATER TO FLOWLINE INVERT MINIMUM. IT IS SUGGESTED THAT ALL JOINTS BELOW PIPE INVERTS ARE GROUTED.

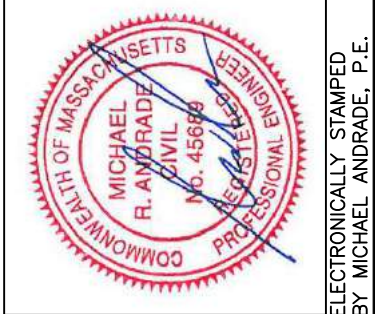


STC450I  
STORMCEPTOR  
STANDARD DETAIL

- NOTE:
- THIS DETAIL IS AN ACCEPTABLE MANUFACTURER; REFER TO THE SPECIFICATIONS FOR OTHERS.

WATER QUALITY UNIT NTS

NO.	DATE	BY	DESCRIPTION	REVISIONS
1	09/07/23	DFS	ISSUED FOR PERMITTING	

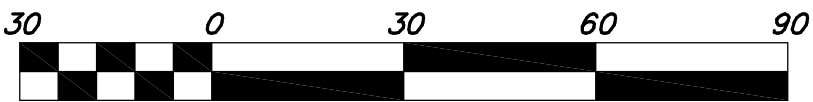
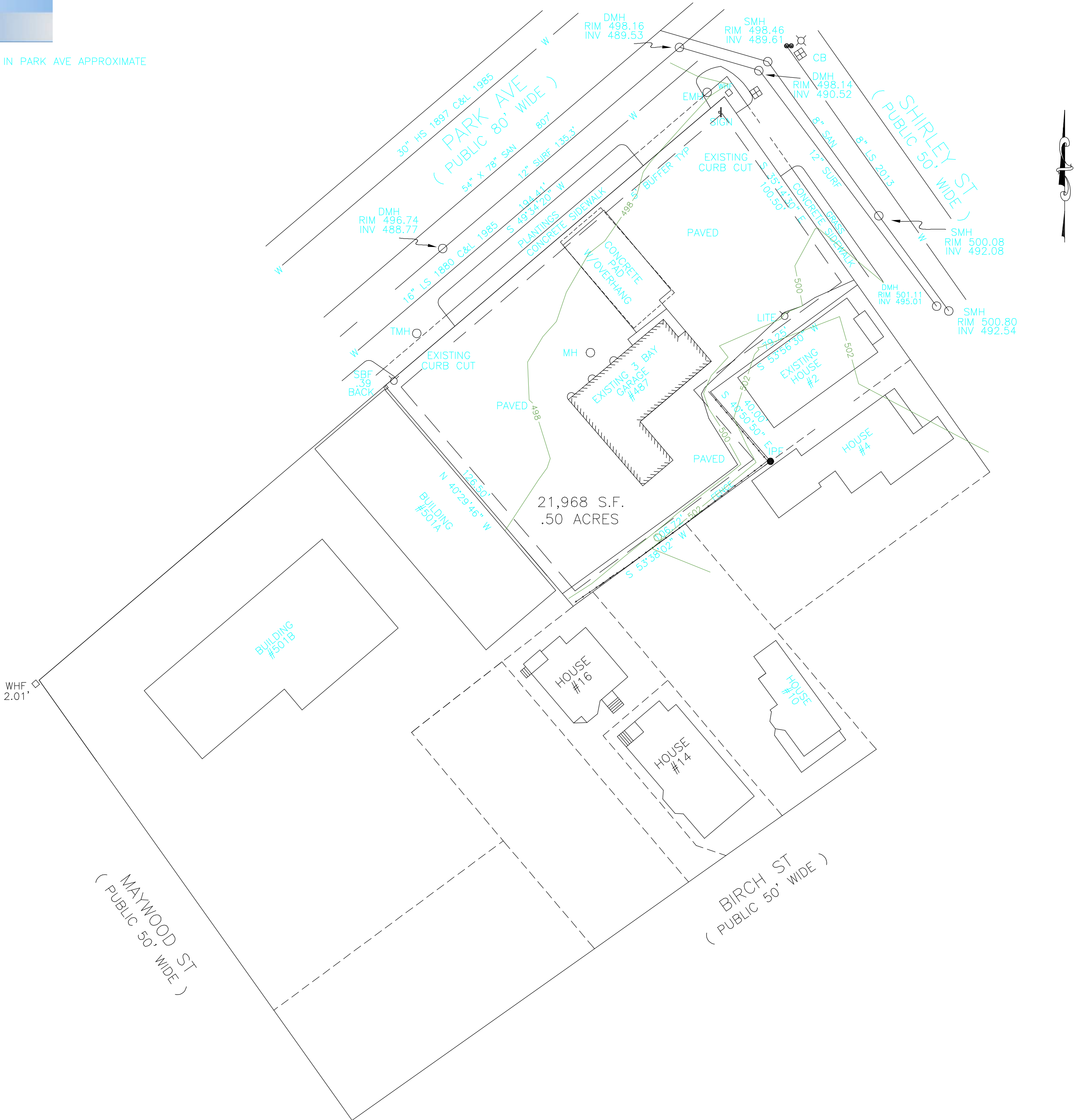


SITE DETAILS-4  
PARK AVENUE GREEN LIVING - MIXED-USE DEVELOPMENT  
487 PARK AVENUE, WORCESTER, MA

PREPARED FOR:	OLSI G/INKO	PRJ. NO.: 23125
DATE: 09/07/23	487 PARK AVENUE, WORCESTER, MA 01603	CHK. BY: MRA
SCALE: 1"=20'	DES. BY: DFS	DRW. BY: DFS



NOTE : WATER LINES IN PARK AVE APPROXIMATE



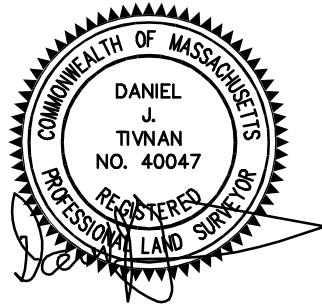
SCALE 1" = 30'

ASSESSOR REFERENCE(S):  
409-43

PLAN REFERENCE(S):  
409-43

DEED REFERENCE(S):  
9088-208

THIS PLAN SHOWS THE PROPERTY LINES THAT ARE THE LINES OF EXISTING OWNERSHIPS AND THE LINES OF STREETS AND WAYS SHOWN ARE THOSE OF PUBLIC OR PRIVATE STREETS OR WAYS ALREADY ESTABLISHED AND THAT NO NEW LINES FOR DIVISION OF OWNERSHIP OR FOR NEW WAYS ARE SHOWN.



THIS PLAN HAS BEEN PREPARED IN CONFORMITY WITH THE RULES AND REGULATIONS OF THE REGISTERS OF DEEDS OF THE COMMONWEALTH OF MASSACHUSETTS.



**h&t group, inc**  
PROFESSIONAL CIVIL ENGINEERS & LAND SURVEYORS  
75 HAMMOND STREET - 2ND FLOOR  
WORCESTER, MASSACHUSETTS 01610-1723  
PHONE: 508-757-4944 EMAIL: INFO@HSTGROUP.NET  
FAX: 508-752-8895 WWW.HSTGROUP.NET

**EXISTING CONDITIONS PLAN**  
487 PARK AVE WORCESTER MA

APPLICANT(S)/OWNER(S):  
OLSI GJINKO  
487 PARK AVE WORCESTER MA

DATE: 08-28-23	COMP'D: DJT	FIELD: PS
SCALE: 1"=30'	CAD: DJT	FLD. BK: 620-28
ZONE: BG-3.0	REV'D:	PARK487PL

JOB NUMBER: 7876

DWG NUMBER: 5608

SHEET NUMBER

1 OF 1



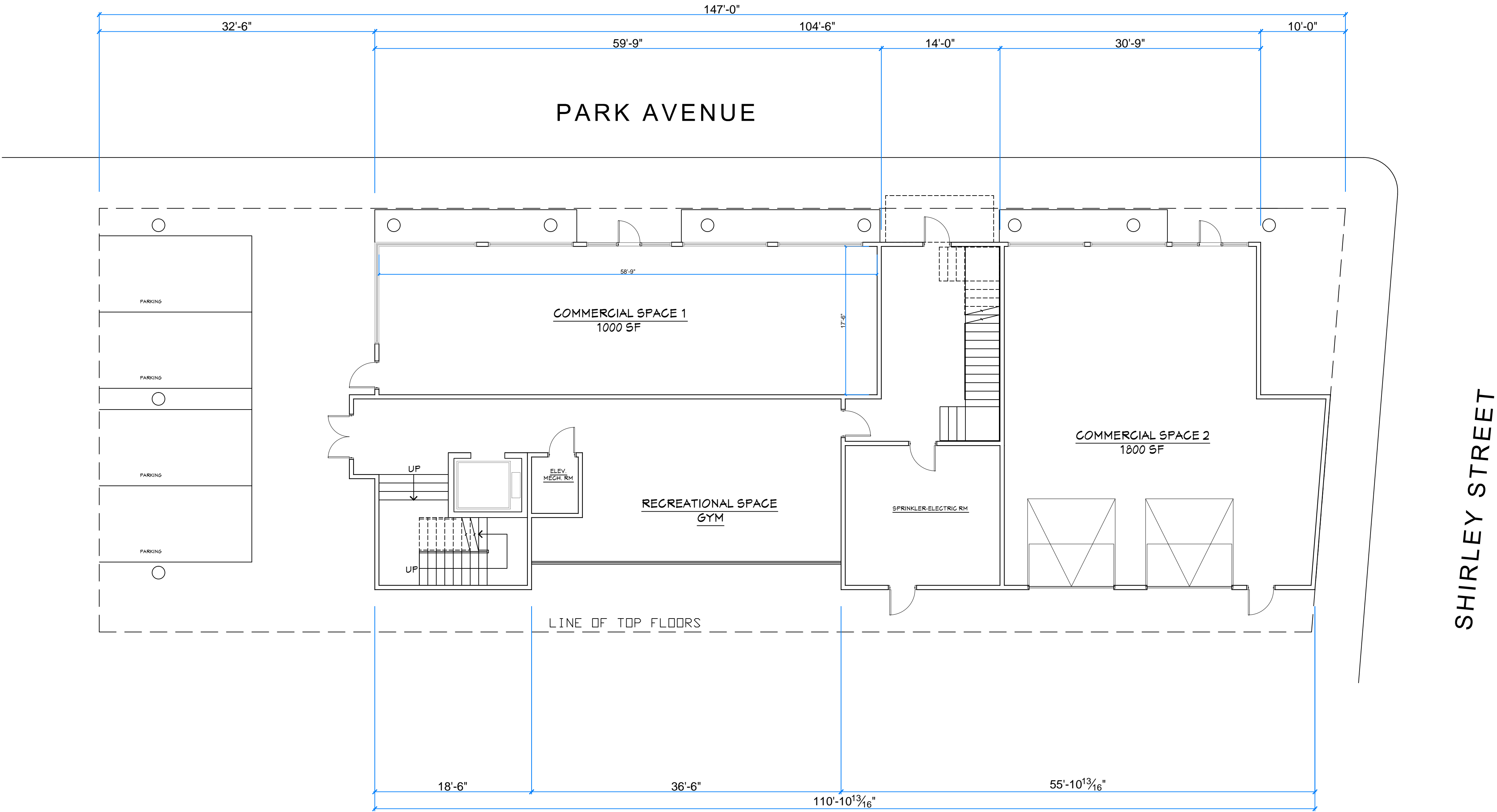
PROPOSED BUILDING

TOTAL FLOORS = 7+  
TOTAL FLOOR AREA = 45,864 SF

- 1ST FLOOR = 4374 SF
- 2 COMMERCIAL UNITS
  - RESIDENTS COMMON AREA

- 2ND, 3RD, 4TH, 5TH, 6TH FLOORS
- 7250 SF EACH
  - 8 TWO-BEDROOM RESIDENTIAL UNITS EACH

- 7TH FLOOR
- 5240 SF EACH
  - 3 LOFTS
  - ROOF TOP RECREATIONAL SPACE
  - ROOF GARDEN



**1ST FLOOR**  
2 COMMERCIAL UNITS. 2800 SF  
RESIDENT'S COMMON AREA  
RECREATIONAL SPACE

PROJECT NAME:
MIXED USE BUILDING
PROJECT NO: C23630
PROJECT ADDRESS:
487 PARK AVENUE WORCESTER, MA
SHEET TITLE:
PRELIMINARY FLOOR PLANS
STAMP:
SCALE: AS SHOWN
0 5' 15' 30'
DATE: 9-5-2023
REVISIONS:
SHEET NO:



PROPOSED BUILDING

TOTAL FLOORS = 7+

TOTAL FLOOR AREA = 45,864 SF

1ST FLOOR = 4374 SF

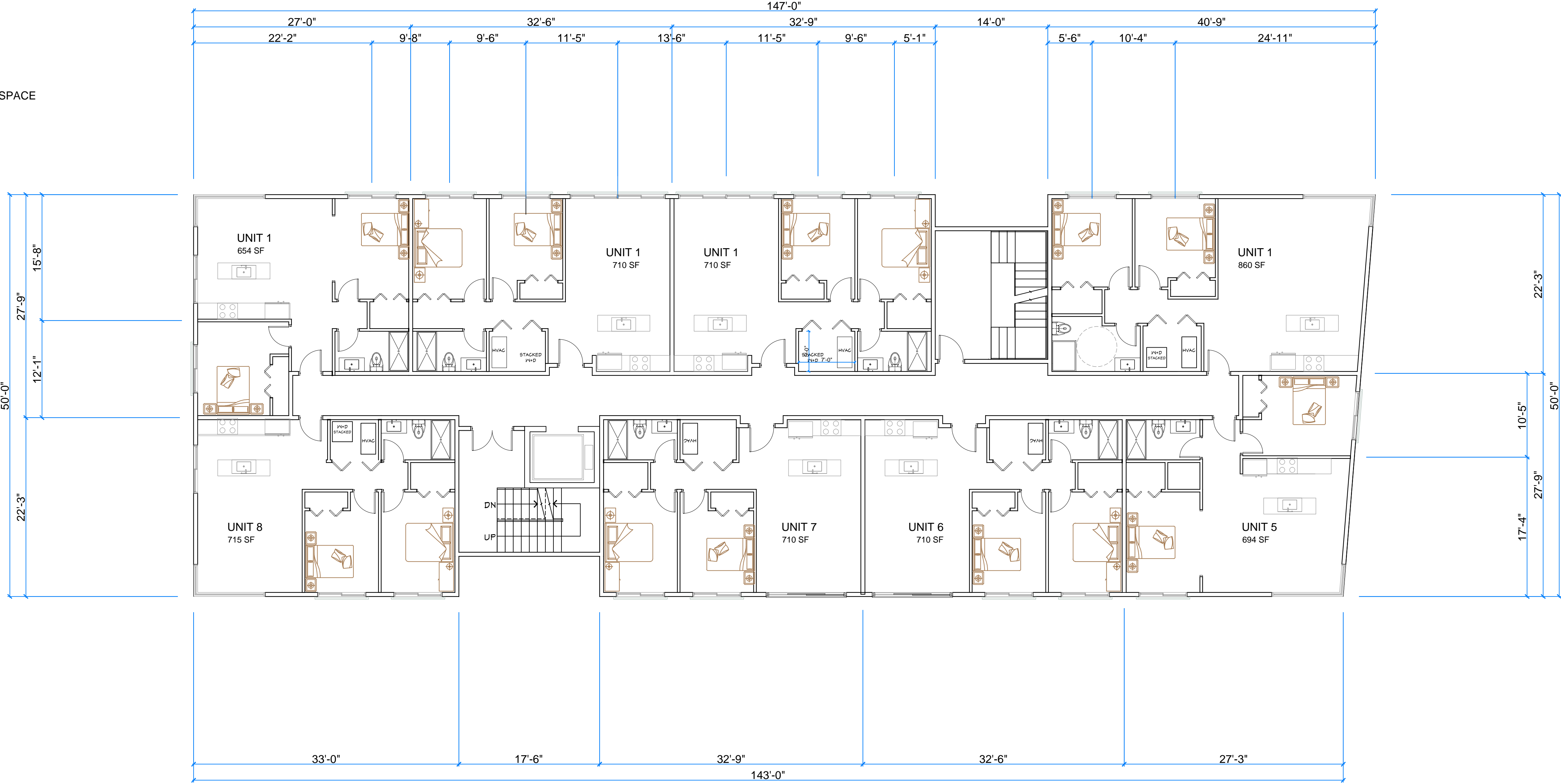
- 2 COMMERCIAL UNITS
- RESIDENTS COMMON AREA

2ND, 3RD, 4TH, 5TH, 6TH FLOORS

- 7250 SF EACH
- 8 TWO-BEDROOM RESIDENTIAL UNITS EACH

7TH FLOOR

- 5240 SF EACH
- 3 LOFTS
- ROOF TOP RECREATIONAL SPACE
- ROOF GARDEN



FLOORS 2-6  
8-TWO BEDROOMS RESIDENTIAL UNITS / FLOOR  
FLOOR AREA = 7250 SF / FLOOR

PROJECT NAME:
MIXED USE BUILDING
PROJECT NO: C23630
PROJECT ADDRESS:
487 PARK AVENUE WORCESTER, MA
SHEET TITLE:
PRELIMINARY FLOOR PLANS
STAMP:
SCALE: AS SHOWN
0 5' 15' 30'
DATE: 9-5-2023
REVISIONS:
SHEET NO:



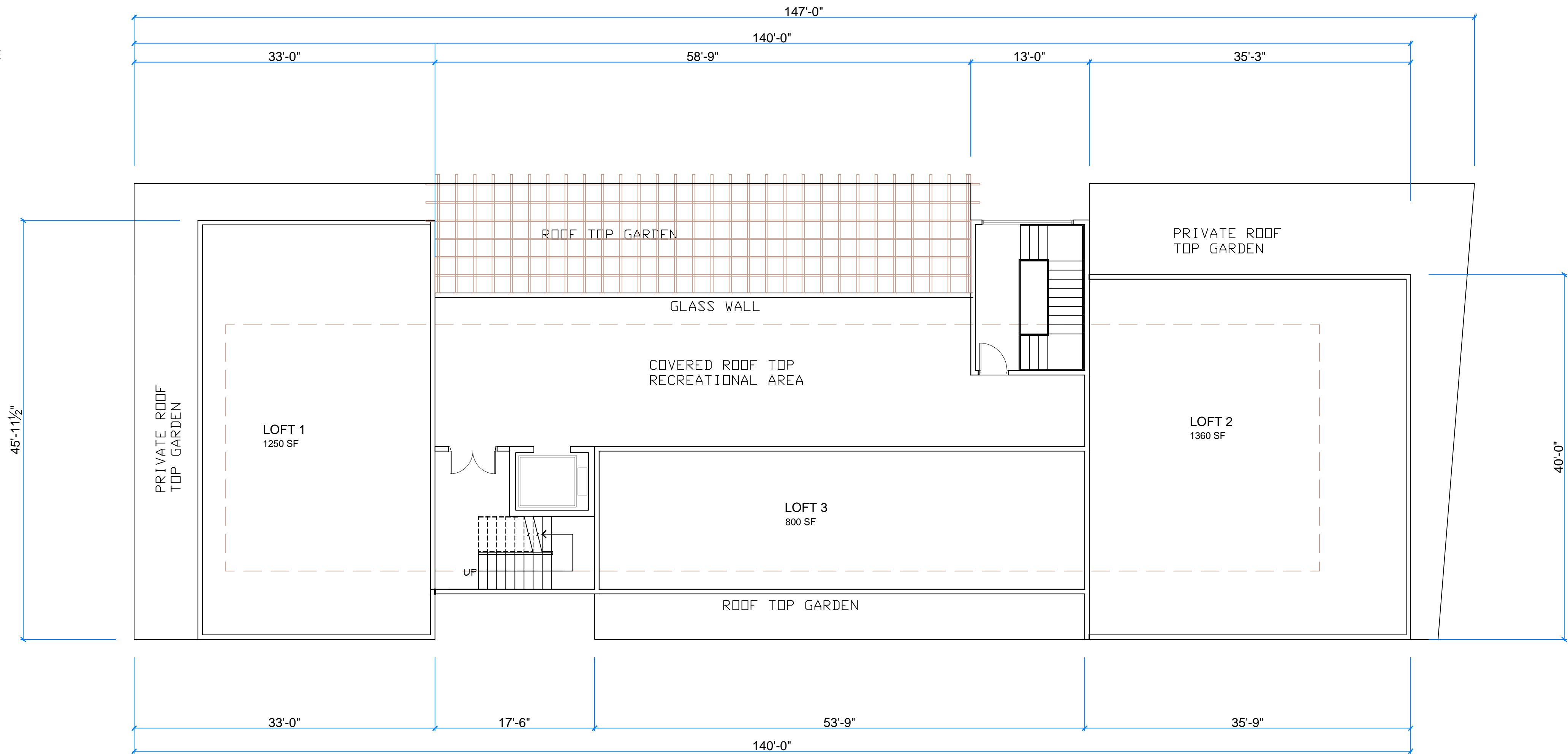
PROPOSED BUILDING

TOTAL FLOORS = 7+  
TOTAL FLOOR AREA = 45,864 SF

- 1ST FLOOR = 4374 SF
- 2 COMMERCIAL UNITS
  - RESIDENTS COMMON AREA

- 2ND, 3RD, 4TH, 5TH, 6TH FLOORS
- 7250 SF EACH
  - 8 TWO-BEDROOM RESIDENTIAL UNITS EACH

- 7TH FLOOR
- 5240 SF EACH
  - 3 LOFTS
  - ROOF TOP RECREATIONAL SPACE
  - ROOF GARDEN



7TH FLOOR  
3 RESIDENTIAL LOFTS  
RECREATIONAL COMMON AREA  
ROOF DECK GARDEN

PROJECT NAME:  
**MIXED USE  
BUILDING**

PROJECT NO: C23630  
PROJECT ADDRESS:  
**487 PARK AVENUE  
WORCESTER, MA**

SHEET TITLE:  
**PRELIMINARY  
FLOOR PLANS**

STAMP:

SCALE: AS SHOWN  
0 5' 15' 30'

DATE: 9-5-2023

REVISIONS:

SHEET NO:  
**3**





ARCHITECTURE . PLANNING . DESIGN

**AADesign SERVICES L.L.C.**  
43 MONROE AVE, WORCESTER, MA 01602  
TEL: 508-769-0579 . FAX: 508-754-5415

OWNER:

X

PROJECT NAME:

**MIXED USE  
BUILDING**

PROJECT NO: C171015

PROJECT ADDRESS:

**487 PARK AVENUE  
WORCESTER, MA**

SHEET TITLE:

**MAIN  
ELEVATION**

STAMP:

SCALE: AS SHOWN

DATE: 9-5-2023

REVISIONS:

SHEET NO:

4



**NORTH ELEVATION (PARK AVE )**

SCALE: 1/8" = 1'